

BILL OF SALE

KNOW ALL MEN BY THESE PRESENTS that **THREE RIVERS DEVELOPERS, LLC**, a Delaware limited liability company, ("**Seller**"), for the sum of TEN and No/100 Dollars (\$10.00) and other good and valuable consideration, paid by the Nassau County, Florida, a political subdivision of the State of Florida, ("**Purchaser**"), the receipt of which is hereby acknowledged, pursuant to that certain Fire Rescue Donation and Impact Fee Credit Agreement, dated as of October 18, 2023 ("**Agreement**") hereby grants, sells, assigns, and conveys to Purchaser, effective as of 12:00 p.m. Eastern Standard Time on March 28, 2025, all of its right, title, and interest in and to all of its respective personal property, both tangible and intangible, associated with the fire station constructed by Seller pursuant to the Agreement (the "**Assets**"), which includes, but is not limited to, the following:

All buildings, facilities, fixtures, equipment, utilities, and other property installations owned by Seller and constructed or installed on that certain property owned by Purchaser, which is described in **Exhibit "A"** attached hereto, together with all existing and assignable third-party warranties, manuals, and ownership documents that relate to completed or in progress construction, including but not limited to, those facilities as identified in the as-built drawings attached as **Exhibit "B"** hereto, as incorporated herein by reference, and all claims of Seller against third parties, whether choate or inchoate, known or unknown, contingent or non-contingent, relating to the Assets.

Seller represents and warrants that it is providing all of its ownership interest in and to the above-referenced property and has removed or provided for the removal of all liens, security interests, or encumbrances.

(REMAINDER OF PAGE LEFT BLANK INTENTIONALLY)

Inst: 202545011611 Date: 04/22/2025 Time: 2:35PM
Page 1 of 114 B: 2782 P: 1524, Doc Type: UNK
Mitch L. Keiter, Clerk of Court, Nassau County,
By: BM, Deputy Clerk

WITNESS:

THREE RIVERS DEVELOPERS, LLC, a
Delaware limited liability company

Paola Sanchez
Print Name: Paola Sanchez
Address: 7807 Baymeadows Rd E Ste. 205
Jacksonville, FL 32256

By: Michael C Taylor
Michael C. Taylor, Vice President

Brad Adams
Print Name: Brad Adams
Address: 7807 Baymeadows Rd. E Ste. 205
Jacksonville, FL 32256

STATE OF FLORIDA
COUNTY OF Duval

The foregoing instrument was acknowledged before me by means of (check one) physical presence or online notarization, this ___ day of April 2025 Michael C. Taylor, as Vice President of Three Rivers Developers, LLC, a Delaware limited liability company, on behalf of the company. He (check one) is personally known to me, or has produced a valid driver's license as identification.

Joe E. Cornelison
Notary Public, State of Florida

Name: Joe E. Cornelison

My Commission Expires 2/20/2026

My Commission Number is: HH231063

(Notary Stamp)



EXHIBIT "A"**PROPERTY**

A PORTION OF SECTION 11, TOWNSHIP 2 NORTH, RANGE 26 EAST, NASSAU COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR THE POINT OF BEGINNING COMMENCE AT THE NORTHWEST CORNER OF LOT 1, TIMBERLAND ESTATES, ACCORDING TO MAP THEREOF RECORDED IN PLAT BOOK 6, PAGES 195 AND 196 OF THE OFFICIAL RECORDS OF SAID COUNTY, THE SAME BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF EDWARDS ROAD (AN 80-FOOT RIGHT-OF-WAY AS NOW ESTABLISHED); THENCE NORTH 08° 11' 00" WEST, ALONG SAID EASTERLY RIGHT- OF-WAY LINE, 35.00 FEET; THEN NORTH 81° 49' 00" EAST, 559.22 FEET; THENCE SOUTH 11° 12' 49" EAST, 276.35 FEET TO THE NORTH LINE OF TMBER CREEK PLANTATION PHASE ONE, ACCORDING TO MAP THEREOF RECORDED IN PLAT BOOK 6, PAGES 394 THROUGH 398 OF THE OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 75° 49' 53" WEST, ALONG SAID NORTH LINE, 113.65 FEET TO NORTHWEST CORNER OF LOT 18 SAID TIMBER CREEK PLANTATION PHASE ONE; THENCE NORTH 44° 55' 14" WEST, 318.31 FEET; THENCE SOUTH 77° 02' 18" WEST, 27.35 FEET TO THE NORTHEAST CORNER OF AFOREMENTIONED LOT 1, TIMBERLAND ESTATES; THENCE SOUTH 81° 49' 00" WEST, ALONG THE NORTHERLY BOUNDARY OF SAID LOT 1, 243.14 FEET TO THE POINT OF BEGINNING.

THE LAND THUS DESCRIBED CONTAINS 1.60 ACRES, MORE OR LESS.

EXHIBIT "B"

FIRE STATION AS-BUILT DRAWINGS

[Follows.]

EDWARDS ROAD FIRE STATION FOR THREE RIVERS DEVELOPERS, LLC

OFFICIAL RECORDS BOOK 1284, PAGE 337

FIRE STATION PARCEL

A PORTION OF SECTION 11, TOWNSHIP 2 NORTH, RANGE 26 EAST, NASSAU COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FOR THE POINT OF BEGINNING COMMENCE AT THE NORTHWEST CORNER OF LOT 1, TIMBERLAND ESTATES, ACCORDING TO MAP THEREOF RECORDED IN PLAT BOOK 6, PAGES 195 AND 196 OF THE OFFICIAL RECORDS OF SAID COUNTY; THENCE BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF EDWARDS ROAD (AN 80-FOOT RIGHT-OF-WAY AS NOW ESTABLISHED); THENCE NORTH 09°1'00" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 35.00 FEET; THENCE NORTH 81°49'00" EAST, 558.22 FEET; THENCE SOUTH 11°12'48" EAST, 276.35 FEET TO THE NORTH LINE OF TIMBER CREEK PLANTATION PHASE ONE, ACCORDING TO MAP THEREOF RECORDED IN PLAT BOOK 6, PAGES 394 THROUGH 398 OF THE OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 72°49'53" WEST, ALONG SAID NORTH LINE, 113.63 FEET TO THE NORTHWEST CORNER OF LOT 87 SAID TIMBER CREEK PLANTATION PHASE ONE; THENCE NORTH 44°55'14" WEST, 318.31 FEET; THENCE SOUTH 77°02'18" WEST, 27.35 FEET TO THE NORTHEAST CORNER OF AFOREMENTIONED LOT 1, TIMBERLAND ESTATES; THENCE SOUTH 81°49'00" WEST, ALONG THE NORTHERLY BOUNDARY OF SAID LOT 1, 243.14 FEET TO THE POINT OF BEGINNING.

THE LAND THUS DESCRIBED CONTAINS 1.60 ACRES, MORE OR LESS.

FOR: STOKES LAND GROUP

PROJECT OWNER AND CONSULTANTS

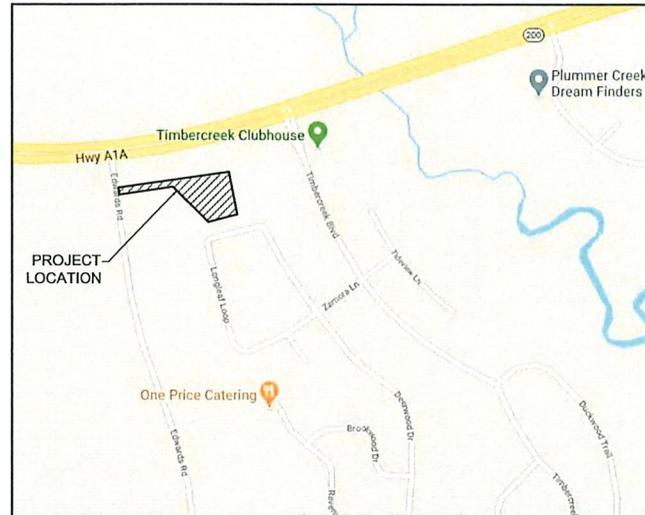
OWNER: THREE RIVERS DEVELOPERS, LLC
7807 BAYMEADOWS ROAD EAST, SUITE 205
JACKSONVILLE, FL 32256
CONTACT: LIAM O'REILLY
TEL: (904) 996-2485

ENGINEER: DOMINION ENGINEERING GROUP, INC.
4348 SOUTHPOINT BLVD, SUITE 201
JACKSONVILLE, FLORIDA 32216
CONTACT: BILL SCHAEFER, P.E.
(904) 854-4500

SURVEYOR: CLARY & ASSOCIATES
3830 CROWNE POINT ROAD
JACKSONVILLE, FLORIDA 32257
TEL: (904) 260-2703

ENVIRONMENTAL: BIO-TECH CONSULTING, INC.
1157 BEACH BLVD.
JACKSONVILLE BEACH, FLORIDA 32250
CONTACT: JASON MILTON
TEL: (877) 894-5696

LANDSCAPE: A & K LAND PLANNING & DESIGN
416 TORTISE TRACE
ST. JOHNS, FLORIDA 32259
CONTACT: KRIS REED
TEL: (904) 476-9692



LOCATION MAP
N.T.S.



INDEX OF DRAWINGS

T-1	COVER SHEET
C1	PRE DEVELOPMENT PLAN
C2	POST DEVELOPMENT PLAN
C3-3A	GEOMETRY PLAN
C4-C4A	PAVING AND DRAINAGE PLAN
C5-C5A	UTILITY PLAN
C6-C7A	PAVING AND DRAINAGE DETAILS
C8	GENERAL NOTES AND DETAILS
C9	EROSION CONTROL PLAN
C10	SWPPP-CONTRACTORS REQUIREMENTS
C11	EROSION AND SEDIMENT CONTROL DETAILS
C12	SWPPP-CONTRACTORS CERTIFICATIONS
C13-C14	MAINTENANCE OF TRAFFIC
C15	GRINDER STATION PLAN
C16-C17	SEWER DETAILS
C18-C22	WATER DETAILS
L1-L3	LANDSCAPE PLAN

PIN # :
11-2N-26-0000-0001-0070



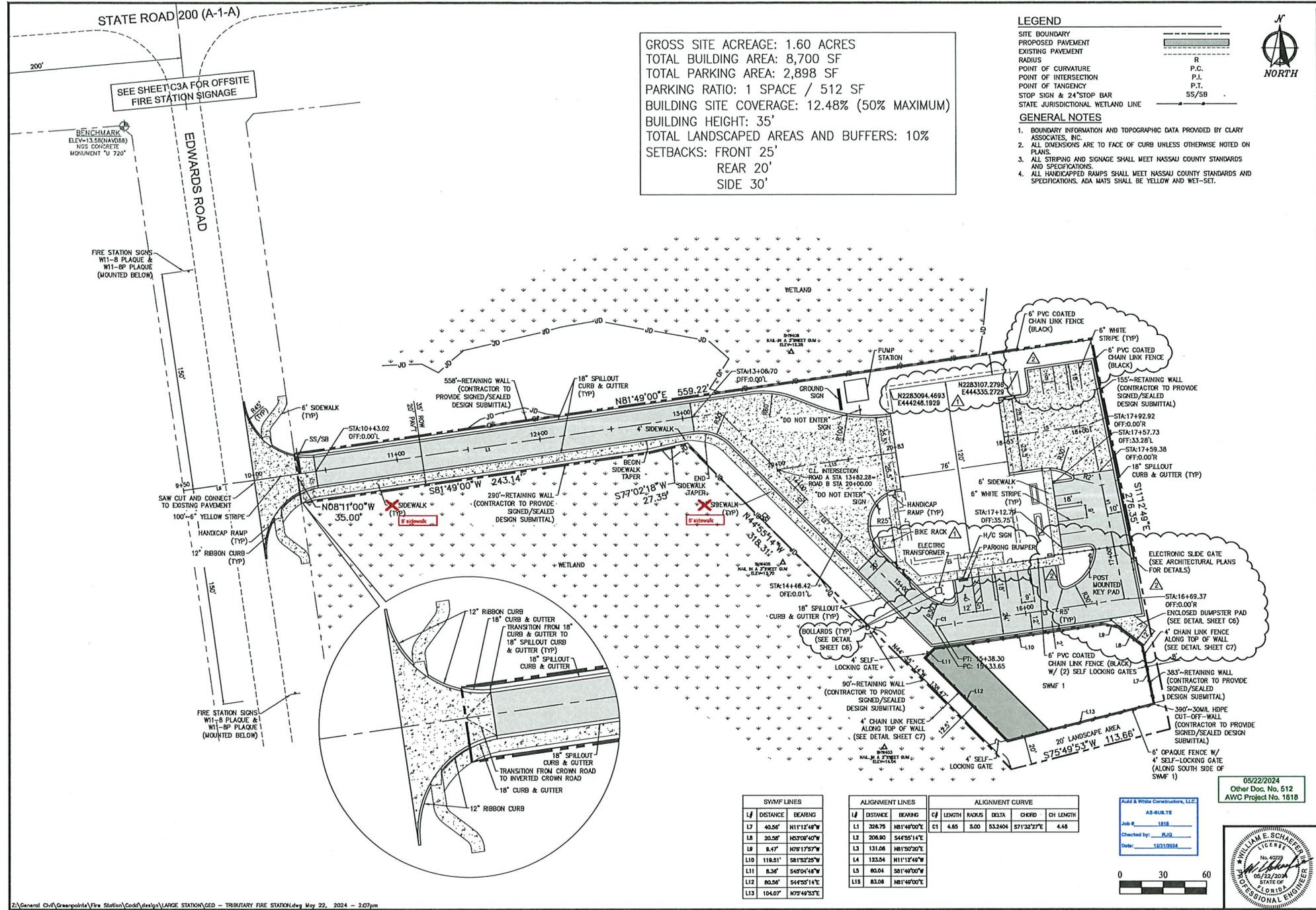
REVISIONS	
COUNTY SUBMITTAL 1	11/14/22
SUPPND SUBMITTAL 1	11/14/22
SEA SUBMITTAL 1	11/15/22
COUNTY SUBMITTAL 2	5/15/23
SEA SUBMITTAL 2	5/15/23
SEA SUBMITTAL 3	5/31/23
SUPPND SUBMITTAL 2	7/17/23
COUNTY SUBMITTAL 3	8/11/23
SEA SUBMITTAL 4	8/11/23
SEA SUBMITTAL 5	9/20/23
SUPPND SUBMITTAL 3	9/20/23

Auld & White Construction, LLC	
AS-BUILTS	
Job #	1818
Checked by:	RJG
Date:	10/12/2024

01/04/2024
Other Doc. No. 501
AWC Project No. 1818

WILLIAM E SCHAEFER, P.E.
FLA. REGISTERED ENGINEER # 40229

DEG JOB No. 2:106 006 - EDWARDS ROAD FIRE STATION



GROSS SITE ACREAGE: 1.60 ACRES
 TOTAL BUILDING AREA: 8,700 SF
 TOTAL PARKING AREA: 2,898 SF
 PARKING RATIO: 1 SPACE / 512 SF
 BUILDING SITE COVERAGE: 12.48% (50% MAXIMUM)
 BUILDING HEIGHT: 35'
 TOTAL LANDSCAPED AREAS AND BUFFERS: 10%
 SETBACKS: FRONT 25'
 REAR 20'
 SIDE 30'

LEGEND

- SITE BOUNDARY
- PROPOSED PAVEMENT
- EXISTING PAVEMENT
- RADIUS
- POINT OF CURVATURE
- POINT OF INTERSECTION
- POINT OF TANGENCY
- STOP SIGN & 24" STOP BAR
- STATE JURISDICTIONAL WETLAND LINE

GENERAL NOTES

- BOUNDARY INFORMATION AND TOPOGRAPHIC DATA PROVIDED BY CLARY ASSOCIATES, INC.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED ON PLANS.
- ALL STRIPING AND SIGNAGE SHALL MEET NASSAU COUNTY STANDARDS AND SPECIFICATIONS.
- ALL HANDICAPPED RAMPS SHALL MEET NASSAU COUNTY STANDARDS AND SPECIFICATIONS. ADA MATS SHALL BE YELLOW AND WET-SET.

DOMINION ENGINEERING GROUP, INC.
 PLANNERS AND ENGINEERS
 4948 SOUTHPOINT BLVD, SUITE 201, JACKSONVILLE, FLORIDA, 32216
 TEL: 904-854-4500 REGISTRY NUMBER: 28821 FAX 904-854-4505
 www.dem-eng.com

EDWARDS ROAD FIRE STATION
 FOR
 THREE RIVERS CDD
 GEOMETRY PLAN

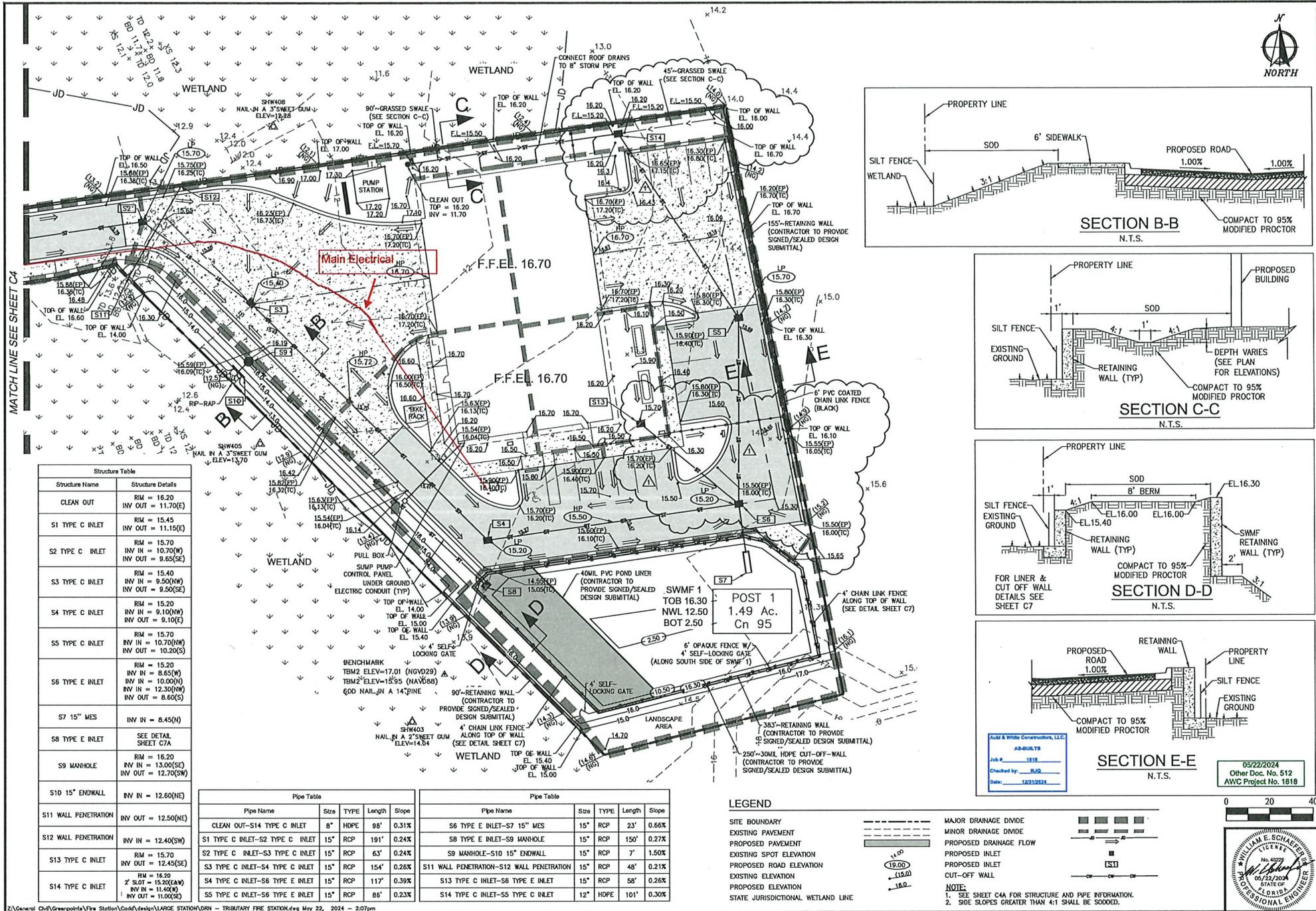
REVISIONS

1	ADDED PIPE BOLLARDS	05/12/2024
2	REMOVED FENCE & GATES, ADDED BUILDING	05/12/2024
3	RELOCATED PARKING STALL & REVISED SECURITY GATE	05/11/24

05/22/2024
 Other Dwg. No. 512
 AWC Project No. 1818

PLAT DATE:
 DRAWN BY: RWP
 DESIGNED BY: WES/RWP
 CHECKED BY: WES
 SCALE: AS NOTED
 JOB NO.: 2106.006
 © LATEST DATE HEREON
 SHEET NO.
C3
 OF XX

SYMF LINES		ALIGNMENT LINES		ALIGNMENT CURVE					
L#	DISTANCE BEARING	L#	DISTANCE BEARING	CF	LENGTH	RADIUS	DELTA	CHORD	CH LENGTH
L7	40.26' N11°12'49"W	L1	328.75 N81°49'00"E	4.65	8.00	83.2404	57°13'27"E	4.48	
L8	20.26' N53°07'40"W	L2	208.80 S44°55'14"E						
L9	8.47' N78°17'57"W	L3	131.08 N81°50'20"E						
L10	118.51' S81°32'25"W	L4	123.54 N11°12'49"W						
L11	8.36' S40°04'49"W	L5	80.04 S81°49'00"W						
L12	80.56' S44°55'14"E	L15	83.06 N81°49'00"E						
L13	104.07' N75°49'53"E								



Structure Table	
Structure Name	Structure Details
CLEAN OUT	RIM = 16.20 INV OUT = 11.70(E)
S1 TYPE C INLET	RIM = 15.45 INV OUT = 11.15(E)
S2 TYPE C INLET	RIM = 15.70 INV IN = 10.70(W) INV OUT = 9.65(SE)
S3 TYPE C INLET	RIM = 15.40 INV IN = 9.50(W) INV OUT = 9.50(SE)
S4 TYPE C INLET	RIM = 15.20 INV IN = 9.10(W) INV OUT = 9.10(E)
S5 TYPE C INLET	RIM = 15.70 INV IN = 10.70(W) INV OUT = 10.20(S)
S6 TYPE E INLET	RIM = 15.20 INV IN = 8.65(W) INV IN = 10.00(N) INV IN = 12.30(W) INV OUT = 8.65(S)
S7 15" MES	INV IN = 8.45(N)
S8 TYPE E INLET	SEE DETAIL SHEET C7A
S9 MANHOLE	RIM = 16.20 INV IN = 13.00(SE) INV OUT = 12.70(SW)
S10 15" ENDWALL	INV IN = 12.60(NE)
S11 WALL PENETRATION	INV OUT = 12.50(NE)
S12 WALL PENETRATION	INV IN = 12.40(SW)
S13 TYPE C INLET	RIM = 15.70 INV OUT = 12.45(SE)
S14 TYPE C INLET	RIM = 16.20 2' SLOTT = 15.20(EAW) INV IN = 11.40(N) INV OUT = 11.00(SE)

Pipe Table				
Pipe Name	Size	TYPE	Length	Slope
CLEAN OUT-S14 TYPE C INLET	8"	HDPE	98'	0.31%
S1 TYPE C INLET-S2 TYPE C INLET	15"	RCP	191'	0.24%
S2 TYPE C INLET-S3 TYPE C INLET	15"	RCP	63'	0.24%
S3 TYPE C INLET-S4 TYPE C INLET	15"	RCP	154'	0.26%
S4 TYPE C INLET-S6 TYPE E INLET	15"	RCP	117'	0.39%
S5 TYPE C INLET-S6 TYPE E INLET	15"	RCP	85'	0.23%

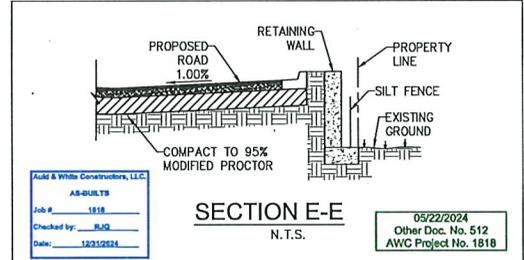
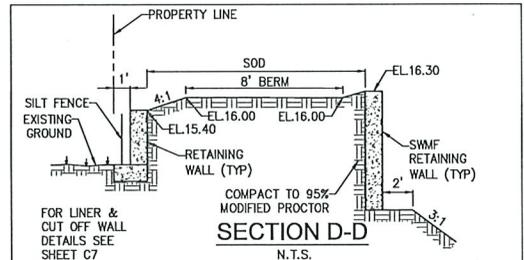
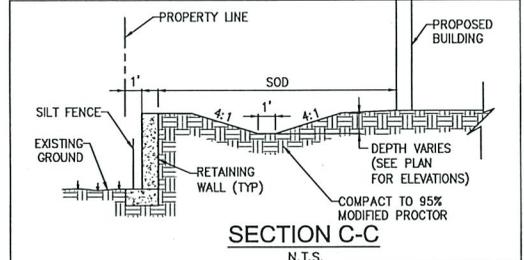
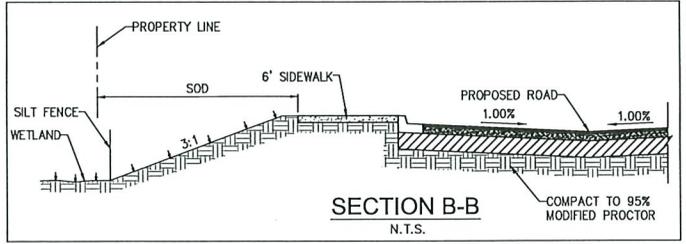
Pipe Table				
Pipe Name	Size	TYPE	Length	Slope
S6 TYPE E INLET-S7 15" MES	15"	RCP	23'	0.66%
S8 TYPE E INLET-S9 MANHOLE	15"	RCP	150'	0.27%
S9 MANHOLE-S10 15" ENDWALL	15"	RCP	7'	1.50%
S11 WALL PENETRATION-S12 WALL PENETRATION	15"	RCP	48'	0.21%
S13 TYPE C INLET-S6 TYPE E INLET	15"	RCP	58'	0.26%
S14 TYPE C INLET-S5 TYPE C INLET	12"	HDPE	101'	0.30%

LEGEND

- SITE BOUNDARY
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING SPOT ELEVATION
- PROPOSED ROAD ELEVATION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- STATE JURISDICTIONAL WETLAND LINE
- MAJOR DRAINAGE DIVIDE
- MINOR DRAINAGE DIVIDE
- PROPOSED DRAINAGE FLOW
- PROPOSED INLET
- CUT-OFF WALL

0 20 40

05/22/2024
Other Doc. No. 512
AWC Project No. 1818



DOMINION ENGINEERING GROUP, INC.
PLANNERS AND ENGINEERS
4348 SOUTHPOINT BLVD, SUITE 201, JACKSONVILLE, FLORIDA 32216
TEL: 904-854-4500 REGISTRY NUMBER: 28821 FAX: 904-854-4505
www.dom-eng.com

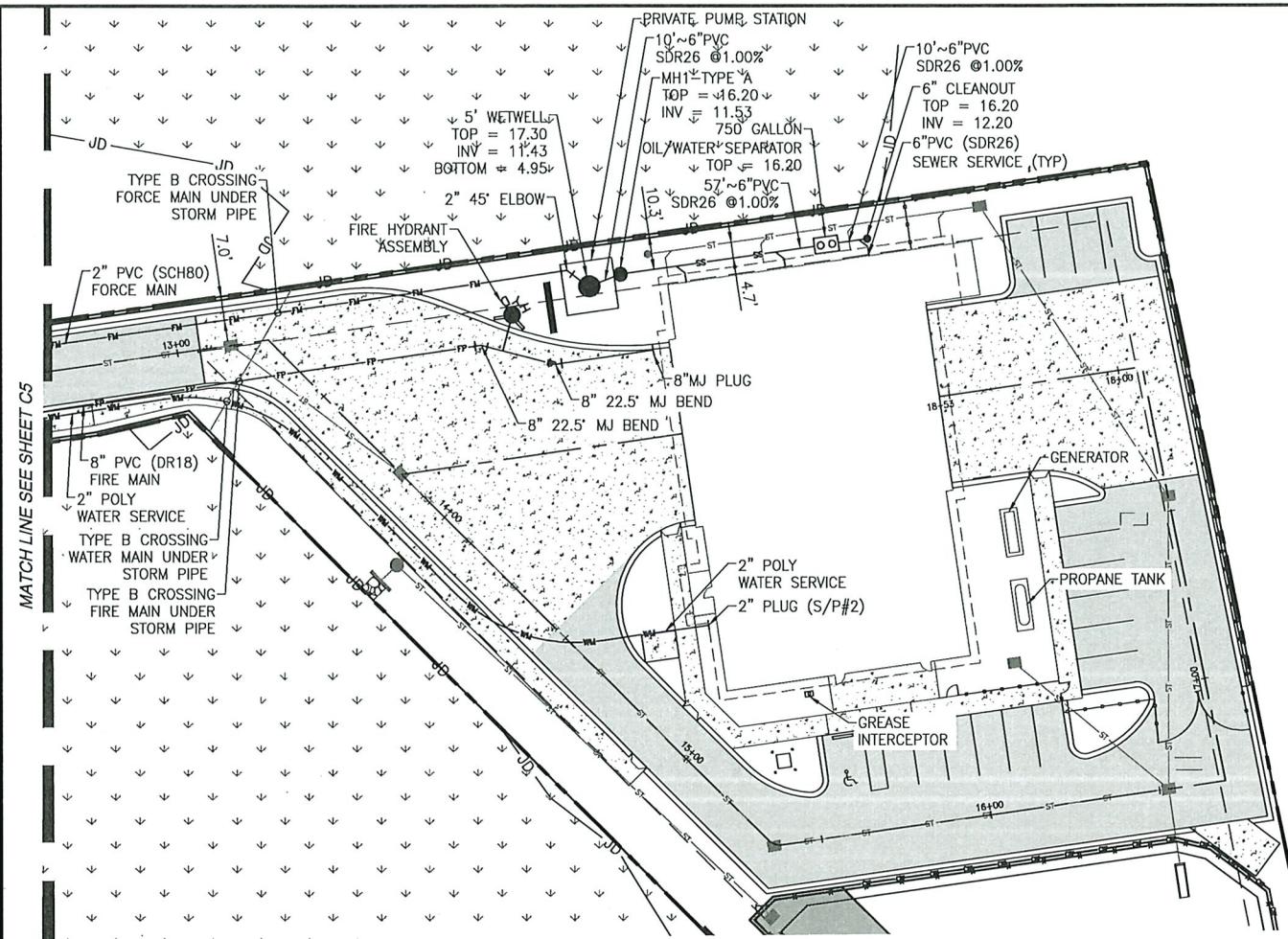
**EDWARDS ROAD FIRE STATION
FOR
THREE RIVERS CDD
PAVING AND DRAINAGE PLAN**

REVISIONS
1. REVISED GRADING AND STORM PIPE LENGTH 04/21/24

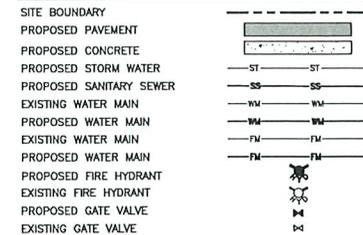
AWC & White Constructors, LLC
AS-044178
Job # 1818
Checked by: JLS
Drawn: SKT/SPH

PLOT DATE:
DRAWN BY: RWP
DESIGNED BY: WES/RWP
CHECKED BY: WES
SCALE: AS NOTED
JOB NO.: 2106000
© LATEST DATE HEREIN
SHEET NO.
C4A
OF XX

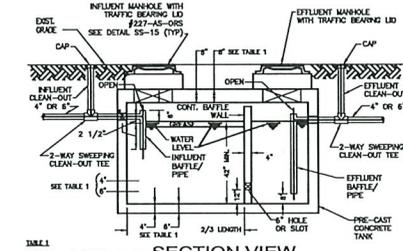
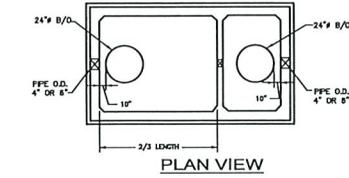
Z:\General Civil\Greenpoint\Fire Station\Cadd\Design\LARGE STATION\DRN - TRIBUTARY FIRE STATION.dwg May 22, 2024 - 2:07pm



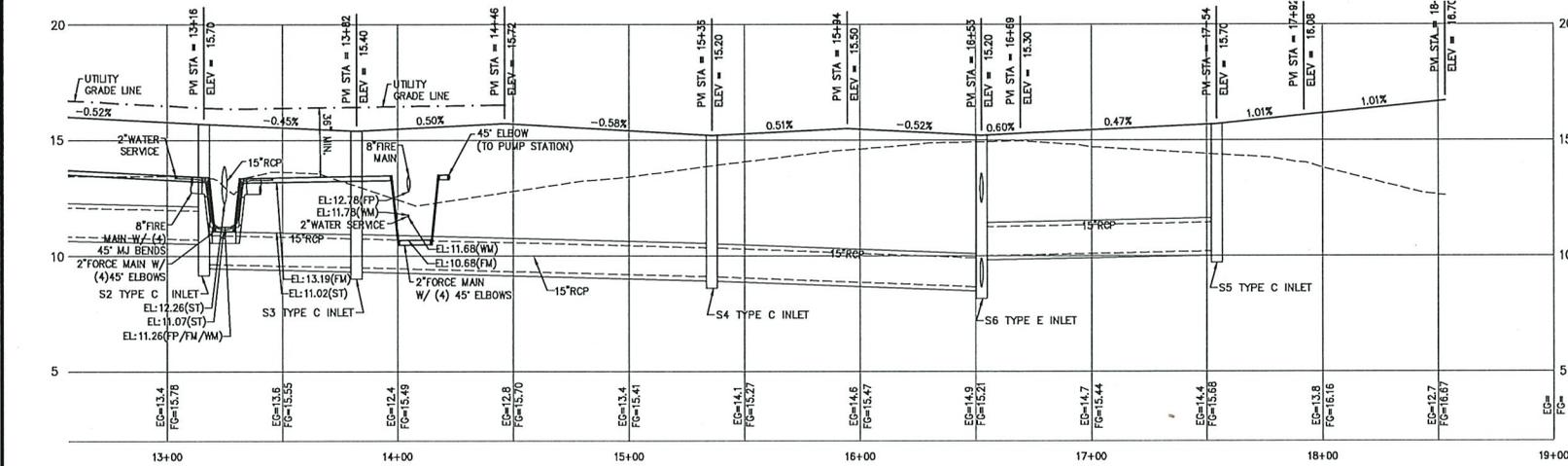
LEGEND



- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITIES WITH THE RESPECTIVE UTILITY PROVIDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - AREAS DISTURBED IN COUNTY RIGHT OF WAY SHALL BE SOODED.
 - CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.



OIL / WATER SEPARATOR DETAIL
R.T.S.



ROAD A PROFILE

Z:\General Civil\Greenspoint\Fire Station\Cadd\design\LARGE STATION\UTILITY - TRIBUTARY FIRE STATION.dwg Jan 03, 2024 - 4:27pm

DOMINION ENGINEERING GROUP, INC.
PLANNERS AND ENGINEERS
4545 SOUTHPOINT BLVD., SUITE 201, JACKSONVILLE, FLORIDA 32216
TEL: 904-854-4500 REGISTRY NUMBER: 26921 FAX: 904-854-4505
www.dom-eng.com

EDWARDS ROAD FIRE STATION
FOR
THREE RIVERS CDD
UTILITY PLAN

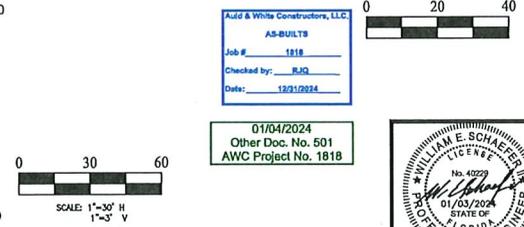
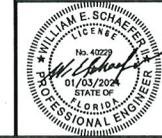
REVISIONS

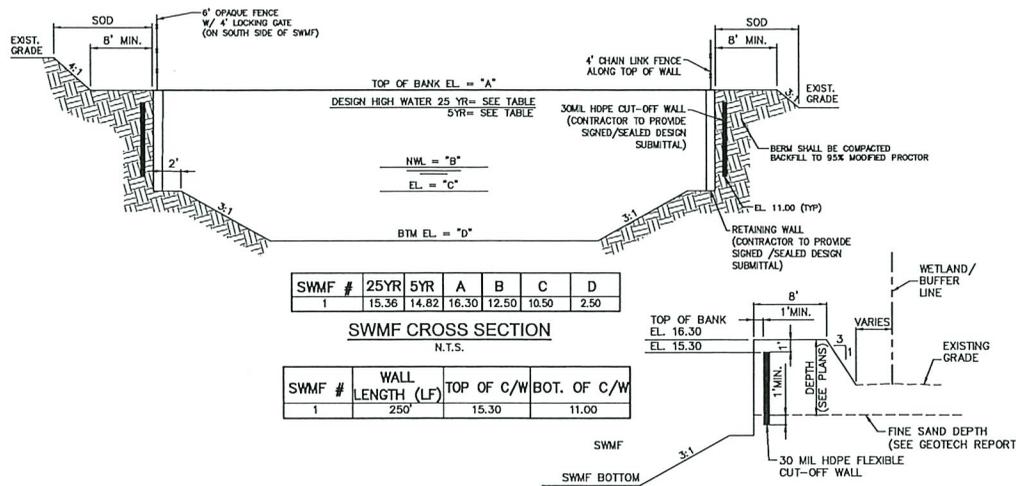
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DRAWN BY: RWP
DESIGNED BY: WES/RWP
CHECKED BY: WES
SCALE: AS NOTED
JOB NO: 2106.006
LATEST DATE HEREON SHEET NO. _____

C5A
OF XX

Add & White Constructors, LLC
AS-BUILTS
Job #: 1818
Checked by: RJQ
Date: 12/31/2024

01/04/2024
Other Doc. No. 501
AWC Project No. 1818





SWMF #	WALL LENGTH (LF)	TOP OF C/W	BOT. OF C/W
1	250'	15.30	11.00

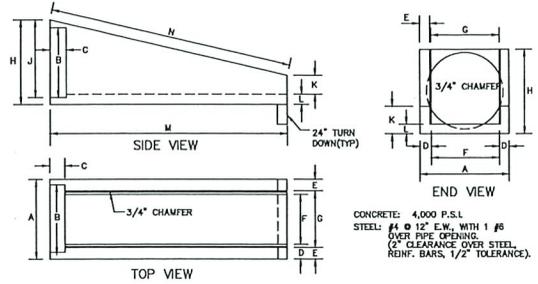
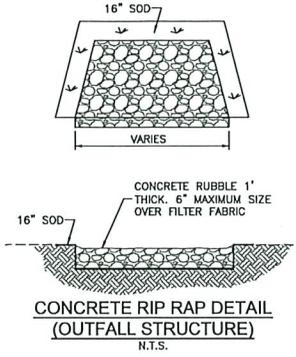
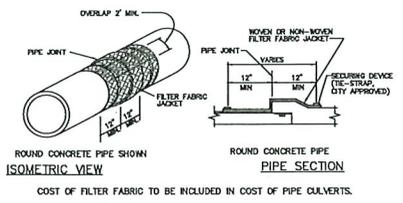


TABLE FOR MITERED END SECTION

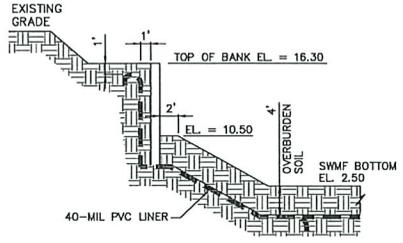
RCP/CMP	A	B	C	D	E	F	G
15" - 18"	2'-7"	2'-1"	8"	6"	6 3/4"	1'-6"	1'-7"
24"	2'-11"	2'-8"	8"	5"	4 1/2"	1'-11"	2'-10"
30"	3'-6"	3'-2"	6"	6"	5 1/2"	2'-5"	2'-8 1/2"
36"	4'-1"	3'-10"	6"	7"	5 1/2"	2'-9"	3'-0"



FILTER FABRIC JACKET DETAIL

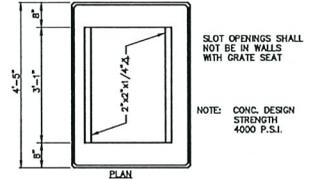
- NOTE:
- CONSTRUCTION OF CUTOFF WALL WILL BE UNDER THE SUPERVISION OF A PROFESSIONAL GEOTECHNICAL ENGINEER AND CERTIFICATION OF PROPER EMBEDMENT WILL BE PROVIDED.
 - THE APPLICANT MUST SUBMIT TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWD) WRITTEN CERTIFICATION THAT THE POND CUT-OFF WALLS OR POND LINERS ARE INSTALLED AS PER THE PLANS APPROVED BY THE SJRWD PERMIT. THE CERTIFICATION MUST BE SIGNED, SEALED AND DATED BY A STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER AND MUST BE SUBMITTED TO THE SJRWD WITHIN 30 DAYS OF THE COMPLETION OF THE CUT OFF WALL OR LINER [CHAPTER 62-330 F.A.C., PERMIT INFORMATION MANUAL SECTION 2.0].
 - CUT OFF WALL SHALL BE INSTALLED PRIOR TO ANY Dewatering FOR THE CONSTRUCTION OF THE SWMF.
 - CUT OFF WALL SHALL REMAIN IN PLACE AFTER CONSTRUCTION.

HDPE CUT-OFF WALL DETAIL

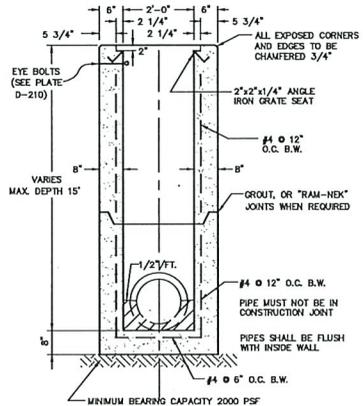


POND LINER DETAIL

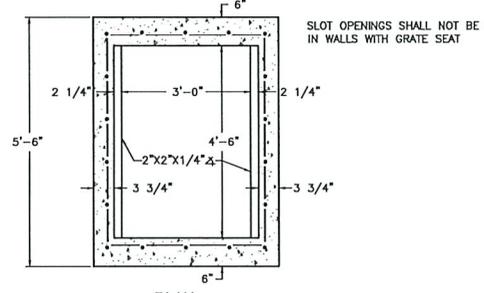
- NOTE:
- CONSTRUCTION OF LINER WILL BE UNDER THE SUPERVISION OF A PROFESSIONAL GEOTECHNICAL ENGINEER AND CERTIFICATION OF PROPER EMBEDMENT WILL BE PROVIDED.
 - THE APPLICANT MUST SUBMIT TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWD) WRITTEN CERTIFICATION THAT THE DITCH LINERS ARE INSTALLED AS PER THE PLANS APPROVED BY THE SJRWD PERMIT. THE CERTIFICATION MUST BE SIGNED, SEALED AND DATED BY A STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER AND MUST BE SUBMITTED TO THE SJRWD WITHIN 30 DAYS OF THE COMPLETION OF THE CUT OFF WALL OR LINER [CHAPTER 62-330 F.A.C., PERMIT INFORMATION MANUAL SECTION 2.0].
 - THE POND LINER SHALL COVER THE POND BOTTOM AND SLOPES UP TO A MINIMUM ELEVATION EQUAL TO THE SEASONAL HIGH GROUNDWATER LEVEL IN THE ADJACENT WETLAND.



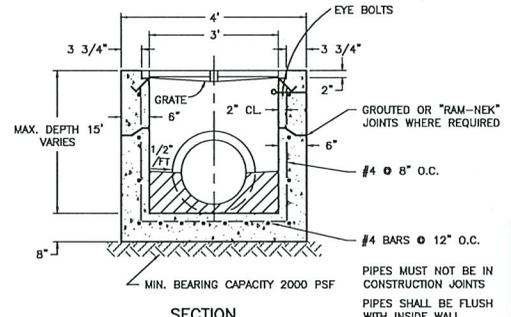
TYPE "C" INLET



TYPE "E" INLET



PLAN



SECTION

Auld & White Constructors, LLC.
 AS-BUILTS
 Job # 1818
 Checked by: RJG
 Date: 10/11/2024



01/04/2024
 Other Doc. No. 501
 AWC Project No. 1818

DOMINION ENGINEERING GROUP, INC.
 PLANNERS AND ENGINEERS
 4546 SOUTHPOINT BLVD., SUITE 201, JACKSONVILLE, FLORIDA 32216
 TEL: 904-854-4500 REGISTRY NUMBER: 26821 FAX 904-854-4505
 www.dom-eng.com

EDWARDS ROAD FIRE STATION
 FOR
 THREE RIVERS CDD
 PAVING AND DRAINAGE DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

PLOT DATE: _____
 DRAWN BY: RWP
 CHECKED BY: WES/RWP
 SCALE: AS NOTED
 JOB NO: 2106.006
 LATEST DATE HEREON
 SHEET NO.
C7
 OF XX

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EDWARDS ROAD FIRE STATION FOR THREE RIVERS CDD GENERAL NOTES AND DETAILS

REVISONS PLOT DATE: DRAWN BY: RWP DESIGNED BY: WES/RWP CHECKED BY: WES/RWP SCALE: AS NOTED JOB NO: 2106.006 © LATEST DATE HEREON SHEET NO. C8 OF XX

01/04/2024 Other Doc. No. 501 AWC Project No. 1818

And White Constructors, LLC AS-BUILTS Job # 1818 Checked by: RJG Date: 1/03/2024



GENERAL NOTES:

- 1. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF THE NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS... 2. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID... 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE... 5. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER AND/OR THE COUNTY FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE... 6. ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD.)... 7. FOR BOUNDARY, ROADWAY AND LOT GEOMETRY INFORMATION SEE PLAN... 8. THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH COUNTY REQUIREMENTS... 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING COUNTY RIGHT-OF-WAY PERMITS FOR WORK IN THE COUNTY RIGHT-OF-WAY OR EASEMENT... 10. THE CONTRACTOR SHALL COORDINATE WITH COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR... 11. ALL PUBLIC DRAINAGE EASEMENTS SHALL BE "UNOBSTRUCTED" EASEMENTS... 12. "AS-BUILT" DRAWINGS - AS-BUILTS TO THE OWNER AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR... 13. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS... 14. ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, AND BERMS INCLUDED IN THIS PROJECT... 15. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH NASSAU COUNTY ROADWAY AND DRAINAGE STANDARDS... 16. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS... 17. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE PROPERLY DISPOSED OF OFF-SITE BY CONTRACTOR... 18. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS DIRECTED OTHERWISE BY ENGINEER OR OWNER... 19. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED... 20. BURNING OF TREES, BRUSH AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED AND COORDINATED WITH COUNTY FIRE MARSHAL... 21. ROADWAY UNDERDRAINS SHALL BE AS REQUIRED ON THE PLANS OR AS MAY BE DETERMINED NECESSARY BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION... 22. CONTRACTOR SHALL PROVIDE CONTRACTION JOINTS AT 10' INTERVALS AND EXPANSION JOINTS SHALL BE SPACED AT 6' INTERVALS AND AT ALL RADIUS POINTS ON ALL CURBING... 23. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT 18' INTERVALS AND CONTRACTION JOINTS SHALL BE SPACED AT 6' INTERVALS BETWEEN EXPANSION JOINTS... 24. MAINTENANCE OF TRAFFIC SHALL CONFORM TO F.D.O.T. STANDARD INDEX 102-600, LATEST EDITION AND IN ACCORDANCE WITH THE NASSAU COUNTY ROAD CLOSURE POLICY... 25. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD INDEXES 11860, 17346, AND 17352 LATEST EDITION... 26. ALL EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE PROPOSED ROADWAY/SITE DEVELOPMENT SHALL BE REMOVED BY THE CONTRACTOR UTILIZING THE HYDRO-BLASTING METHOD... 27. ALL AREAS DISTURBED IN THE COUNTY RIGHT OF WAY SHALL BE SOODED... 28. ANY CONCERNS OR CONFLICTS WITH ADA GRADING OR ANY OTHER GRADING ON SITE THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY... 29. ALL DRAINAGE PIPES INSTALLED WITHIN ROADWAY RIGHT-OF-WAYS/EASEMENTS(PUBLIC OR PRIVATE) SHALL BE TELEVIEWED BY A COMPANY OR INDIVIDUAL CERTIFIED TO PERFORM SUCH WORK PER LDC 6.04.07.L5.C. THIS REQUIREMENT MAY ONLY BE WAIVED ON COMMERCIAL SITES IF THE ENGINEER OF RECORD CERTIFIES BY LETTER THAT THE SITE DOES NOT RECEIVE ANY RUNOFF FROM NASSAU COUNTY RIGHT-OF-WAYS, IF THERE IS ANY CONNECTION OR RELATIONSHIP BETWEEN THE PROJECT SITE AND A COUNTY OWNED OR MAINTAINED DITCH, POND OR STRUCTURE, IT SHALL BE REQUIRED. THIS TELEVIEWING OF THE DRAINAGE LINE SHALL BE DONE IN COLOR AND SHALL BE OF SUCH QUALITY AS TO VISUALLY IDENTIFY THE PROPER CONSTRUCTION OF ALL JOINTS AND PIPE ALIGNMENT. A VIDEO TAPE SHALL BE PROVIDED TO THE COUNTY UPON COMPLETION. THE TELEVIEWING OF THE DRAINAGE LINES SHALL BE PERFORMED AFTER THE PLACEMENT OF THE BASE MATERIAL AND PRIOR TO THE FINAL WEARING SURFACE OF THE ROADWAY. THE APPROVAL BY THE COUNTY OF THE TELEVIEWING SHALL BE REQUIRED PRIOR TO THE PLACEMENT OF THE FINAL WEARING SURFACE OF THE ROADWAY. TELEVIEWED RECORD SHALL BE REVIEWED AND CERTIFIED BY THE ENGINEER OF RECORD (EOR).

EROSION & SEDIMENT CONTROL NOTES:

- 1. THESE PLANS INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL-A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (F.D.E.P.) CHAPTER 6. THE CONTRACTOR SHALL PROVIDE EROSION PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROL TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS AND FINES... 2. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS AND SPECIFICATIONS AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA... 3. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR POLLUTANT WATER QUALITY DEGRADATION... 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOO AND/OR GRASS PER COUNTY STANDARDS AND MEETING THE N.P.D.E.S. FINAL STABILIZATION REQUIREMENTS... 5. IF DETERMINING CAPACITIES REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT... 6. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER, PAGE 42739, PART 1A.3, TO DETERMINE PETROLEUM CONTAMINATION LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S. PERMIT, IF REQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED DURING CONSTRUCTION AND DETERMINING OPERATIONS... 7. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT TO THE EPA IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS."

UTILITY NOTES:

- 1. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES AND IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH HE SHALL CONNECT... 2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL MATERIALS, IF REQUIRED, TO THE ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO SUBMITTING TO JEA AND PRIOR TO PURCHASE OR CONSTRUCTION OF ANY UTILITY PIPE OR STRUCTURE... 3. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH CITY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON THE PLANS... 4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE... 5. ALL DRAINAGE STRUCTURES TO HAVE TRAFFIC BEARING GRATES UNLESS OTHERWISE NOTED... 6. ALL DRAINAGE PIPE JOINTS IN COUNTY DRAINAGE EASEMENTS, DRAINAGE EASEMENTS BETWEEN PRIVATE LOTS, DRAINAGE RIGHT-OF-WAYS AND UNDER PAVED ROADS ARE TO BE FILTER-WRAPPED... 7. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRE CAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDD-MIX CONCRETE WITH #57 STONE... 8. UNSUITABLE MATERIALS UNDER WATER, SEWER PIPE, STORM PIPE OR STRUCTURES SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED... 9. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUB GRADE FOR PAVEMENT... 10. ALL WATER AND SEWER CONSTRUCTION WITHIN THE COUNTY SHALL BE ACCOMPLISHED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FLORIDA STATUTES... 11. CONTRACTOR SHALL PROVIDE, TO THE ENGINEER, A SCHEDULE OF INVERT ELEVATIONS OF ALL SANITARY MANHOLES & DRAINAGE STRUCTURES PRIOR TO THE PLACEMENT OF THE LIMEROCK BASE COURSE. THIS SCHEDULE TO BE PROVIDED BY THE REGISTERED LAND SURVEYOR SUBMITTING THE "AS BUILT" DRAWINGS FOR THIS PROJECT... 12. ALL SEWER MAINS SHALL BE PVC (ASTM-3034) SDR-26 FOR DEPTHS TO 12 FEET, SDR28 FOR DEPTHS 12' OR DEEPER, OR IN EASEMENTS UNLESS OTHERWISE NOTED. FORCE MAINS TO BE PVC - DR18 PIPE UNLESS OTHERWISE NOTED AND SHALL HAVE A MINIMUM COVER OF 36" FROM FINISHED GRADE... 13. SANITARY SEWER SERVICES SHALL BE 8" PVC WITH A MINIMUM SLOPE OF 0.008 FEET PER FOOT AND SHALL BE TERMINATED AT THE RIGHT-OF-WAY LINE WITH A DEPTH OF 48" UNLESS OTHERWISE DETAILED OR RESTRICTED DUE TO DEPTH OF SEWER MAIN... 14. ALL WATER MAINS SHALL BE FLUSHED IN ACCORDANCE WITH AWWA C651 DISINFECTION STANDARDS AND/OR JEA APPLICABLE STANDARDS AND SPECIFICATIONS... 15. ALL WATER LINES 4" OR LESS SHALL BE NATIONAL SANITARY FOUNDATION POTABLE WATER (N.S.F.P.W.) RATED... 16. WATER AND SEWER LINES ARE DESIGNATED TO FINISHED GRADES AND SHALL BE PROTECTED UNTIL FINISHED WORK IS COMPLETE... 17. HORIZONTAL SEPARATION BETWEEN WATER MAINS, VALVES, FITTINGS AND SANITARY OR STORM SEWER SHALL IN ACCORDANCE WITH THE F.D.E.P. REGULATIONS AND JEA STANDARD DETAILS... 18. ALL WATER LINE CROSSINGS SHALL HAVE A FULL LENGTH OF PIPE CENTERED OVER THE EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING AT CROSSINGS. WATER MAINS CROSSING SANITARY AND STORM SEWER LINES, AS WELL AS VALVES AND FITTINGS, MUST HAVE A MINIMUM 18" VERTICAL SEPARATION. IF THIS SEPARATION CANNOT BE OBTAINED, THE WATER MAIN MUST BE CONSTRUCTED OF DUCTILE IRON PIPE FOR A DISTANCE OF EITHER THE SANITARY OR STORM SEWER MAIN, OR INSURE WATER MAIN IN D.I. SLEEVE MAIN LENGTH 20' CENTERED. ENDS OF SLEAVE TO BE GROUT FILLED, IN EITHER CASE, MINIMUM OF 6" OF VERTICAL SEPARATION SHALL BE MAINTAINED... 19. MECHANICAL RESTRAINING DEVICES ARE REQUIRED IN ACCORDANCE WITH JEA STANDARDS WHERE WATER MAINS ARE TERMINATED AND AT ALL BENDS AND TEES... 20. UNLESS OTHERWISE NOTED, ALL OFF-SITE WATER MAIN TO BE PVC DR18, C-900 AND ALL ON-SITE WATER MAIN 4" AND GREATER SHALL BE DIPS, C-900. ALL ON-SITE WATER MAIN 3" OR SMALLER SHALL BE SCHEDULE 40 PVC AND N.F.S.P.W. RATED... 21. ALL GATE VALVES SHALL BE UTILITY COMPANY STANDARD. VALVES SHALL BE MECHANICAL JOINT, CAST IRON, BRONZE, FITTED WITH RESIDENT SEALS. ALL VALVES SHALL OPEN BY TURNING TO THE LEFT. VALVES SHALL BE RATED AT 200 PSI WORKING PRESSURE AND 400 PSI TEST PRESSURE... 22. FIRE HYDRANTS SHALL BE JEA STANDARD. HYDRANTS SHALL BE PAINTED AS PER JEA STANDARDS... 23. ALL ELECTRIC CONDUIT WORK SHALL BE COMPLETED PRIOR TO THE PRESSURE TESTING OF WATER AND SEWAGE FORCE MAINS... 24. ALL WATER MAINS SHALL BE BACTERIOLOGICAL AND PRESSURE TESTED AT 150 PSI FOR 2 HOURS IN ACCORDANCE WITH AWWA C-500 STANDARDS. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, AND CLEARED FOR SERVICE. THE ENGINEER MUST NOTIFIED 48 HOURS PRIOR TO PERFORMING THE PRESSURE TEST AND MUST BE PRESENT.

STORM WATER POLLUTION PREVENTION PLAN

Table with 2 columns: REQUIREMENTS and SITE DESCRIPTION. Includes project name (Edwards Road Fire Station), location (Jacksonville, FL), and various site details.

Table with 2 columns: GENERAL and SEQUENCE OF MAJOR ACTIVITIES. Lists construction activities like installing utilities, grading, and paving.

Table with 2 columns: OTHER CONTROLS and HAZARDOUS WASTE. Details controls for erosion, sediment, and hazardous materials.

Table with 2 columns: HAZARDOUS WASTE and SANITARY WASTE. Describes disposal methods for hazardous and sanitary waste.

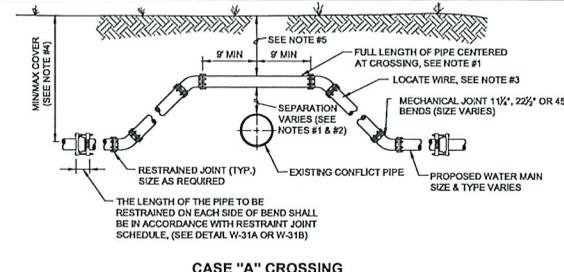
Table with 2 columns: HAZARDOUS WASTE and SANITARY WASTE. Continuation of waste management details.

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DOMINION ENGINEERING GROUP, INC. PLANNERS AND ENGINEERS. 4545 SOUTHPOINT BLVD., SUITE 201, JACKSONVILLE, FLORIDA 32216

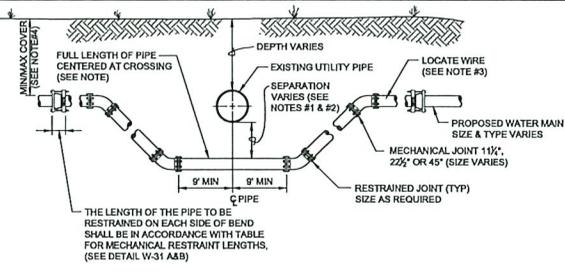
EDWARDS ROAD FIRE STATION FOR THREE RIVERS CDD SWPPP-CONTRACTORS REQUIREMENTS

REVISIONS table with columns for revision number, description, and date. Includes a signature block for William E. Schaefer, P.E.



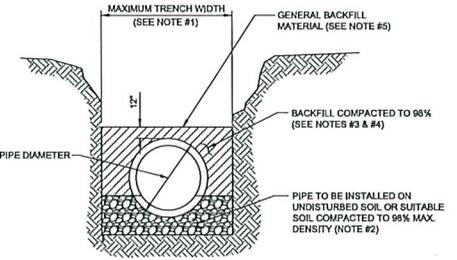
CASE "A" CROSSING

- NOTES:**
- THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
 - FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE DETAIL (W-10 AND W-11).
 - LOCATING WIRE REQUIRED, SEE DETAIL W-44.
 - THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JEA. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 64", UNLESS APPROVED BY JEA.
 - IF UTILITY CONFLICT IS LOCATED IN A NON-TRAFFIC AREA (NO TRAFFIC LOADS) AND THE NEW PIPE IS D.I.P., THEN THE MINIMUM COVER MAY BE REDUCED TO 24 INCHES (ONLY IN THE AREA OF THE CONFLICT).



CASE "B" CROSSING

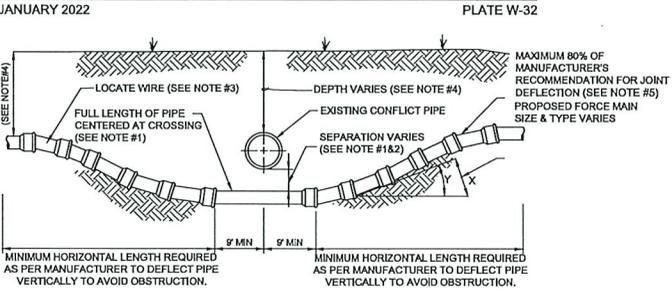
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 - IN LOCATIONS WHERE WATER/RECLAIM MAINS CROSS UNDER A BOX-CULVERT, OR 36-INCH DIAMETER AND LARGER STORM WATER MAIN, JEA WILL REQUIRE DIP TO BE UTILIZED FOR THE MAIN.



TYPICAL TRENCH

- NOTES:**
- TRENCH SIDES SHALL BE APPROXIMATELY VERTICAL BETWEEN AN ELEVATION OF 1 FOOT ABOVE THE TOP OF THE PIPE AND THE CENTER LINE OF THE PIPE. OTHERWISE, TRENCH SIDES SHALL BE AS VERTICAL AS POSSIBLE OR AS REQUIRED BY OSHA STANDARDS. REFER TO THE MEASUREMENT AND PAYMENT SECTION (SECTION #601, PARAGRAPH #4) TO DETERMINE MAXIMUM PATTERN WIDTHS.
 - BELL HOLE SHALL BE DUG TO PERMIT THE ENTIRE STRAIGHT BARREL OF THE PIPE TO REST ON THE UNDISTURBED TRENCH BOTTOM. BOULDERS OR LOOSE ROCKS LARGER THAN 3/4 INCH IN SIZE WILL NOT BE PERMITTED IN BACKFILL UP TO 1 FOOT ABOVE THE TOP OF THE PIPE.
 - BACK FILL MATERIAL UP TO A LEVEL OF 1 FOOT OVER THE PIPE SHALL CONSIST OF AASHTO CLASS A-3 SOIL (SUITABLE SOIL) AND SHALL EXCLUDE CLAY MATERIALS AND LOOSE ROCKS LARGER THAN 3/4 INCH SIZE.
 - BACKFILL MATERIAL UP TO A LEVEL 1 FOOT OVER THE TOP OF PIPE OR BOTTOM OF STRUCTURES SHALL BE PLACED IN 6 INCH COMPACTED THICKNESS LAYERS AND SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D1557.
 - SEE "EXCAVATION AND EARTHWORK", SECTION 408 FOR ADDITIONAL REQUIREMENTS INCLUDING REMOVAL AND REPLACEMENT OF UNSUITABLE SOILS, DEWATERING, COMPACTION REQUIREMENTS AND DENSITY TESTING OF COMPACTED SOILS.

ADJUSTMENT OVER EXISTING UTILITIES
MECHANICAL RESTRAINTS



CASE "B" CROSSING

- NOTES:**
- IF EXISTING CONFLICT PIPE IS A WATER MAIN, 12-INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSING.
 - FOR OTHER LOCATION LIMITATIONS SEE DETAIL (W-10 & W-11).
 - LOCATING WIRE REQUIRED, SEE DETAIL W-44.
 - THE COVER OVER ALL PIPING LESS THAN 24" SIZE SHALL BE A MINIMUM OF 30" IN UNPAVED AREAS AND 36" IN PAVED AREAS WITH A MAXIMUM COVER OF 60" UNLESS APPROVED OTHERWISE BY JEA. COVER FOR PIPING 24" SIZE AND LARGER SHALL BE MINIMUM OF 36" (PAVED AND UNPAVED) AND MAXIMUM OF 64" UNLESS APPROVED OTHERWISE BY JEA. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.
 - JEA ONLY ALLOWS 80% OF THE PIPE MANUFACTURER'S RECOMMENDATION FOR JOINT DEFLECTION. BENDING THE PIPE BARREL IS NOT ALLOWED, UNLESS OTHERWISE APPROVED BY JEA. THE MAXIMUM ARE LISTED IN TABLE BELOW. ONLY MANUAL FORCE CAN BE UTILIZED TO OBTAIN THESE JOINT DEFLECTION. ALL OFFSETS ARE BASED ON MINIMUM 20LF PIPE LENGTH.

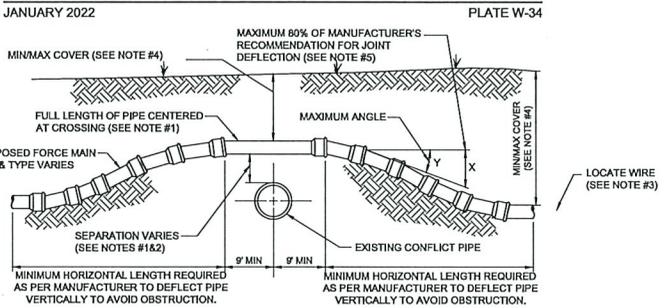
MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION

PVC PIPE				DUCTILE IRON PIPE (Mechanical Joint)			
PIPE SIZE (IN.)	(X) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL	RESULTING RADIUS OF CURVE WITH 20FT. LENGTHS	PIPE SIZE (IN.)	(X) MAX. OFFSET (IN.)	(Y) ANGLE AT ONE BELL	RESULTING RADIUS OF CURVE WITH 20FT. LENGTHS
2	30	7"	158 FT	-	-	-	-
4	10	2.4"	480 FT	4	27	6.5"	177 FT
6	10	2.4"	480 FT	6	24	5.7"	200 FT
8	10	2.4"	480 FT	8-12	17.5	4.2"	273 FT
10	10	2.4"	480 FT	14-16	12	2.9"	400 FT
12	8.5	2"	564 FT	18-20	10	2.4"	477 FT
14-24	5	1.2"	860 FT	24-30	8	1.9"	600 FT
30-48	3.25	0.8"	1477 FT	36	7	1.7"	687 FT
				42-48	6.7	1.6"	716 FT

ADJUSTMENT UNDER EXISTING UTILITIES
PIPE JOINT DEFLECTION

JANUARY 2022 PLATE W-40

ADJUSTMENT UNDER EXISTING UTILITIES
MECHANICAL RESTRAINTS



CASE "A" CROSSING

- NOTES:**
- IF EXISTING CONFLICT PIPE IS A WATER MAIN, 12-INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSING.
 - FOR OTHER LOCATION LIMITATIONS SEE DETAIL (W-10 & W-11).
 - LOCATING WIRE REQUIRED, SEE DETAIL W-44.
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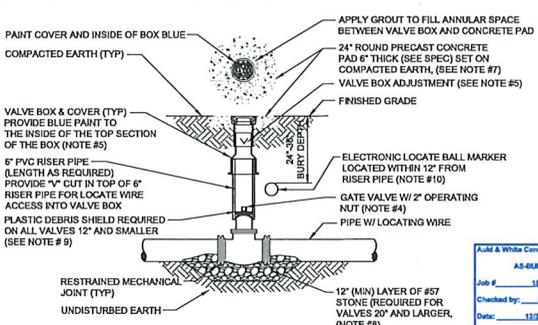
MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION

PVC PIPE				DUCTILE IRON PIPE (Mechanical Joint)			
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14-24	5	1.2"	860 FT	24-30	8	1.9"	600 FT
30-48	3.25	0.8"	1477 FT	36	7	1.7"	687 FT
				42-48	6.7	1.6"	716 FT

ADJUSTMENT OVER EXISTING UTILITIES
PIPE JOINT DEFLECTION

JANUARY 2022 PLATE W-41

OPEN CUT TRENCH FOR PRESSURE PIPE
IN CITY RIGHT OF WAY



- NOTES:**
- FOR UNPAVED LOCATIONS, A PRECAST CONCRETE VALVE PAD SHALL BE PROVIDED AND INSTALLED FLUSH WITH GRADE. CONCRETE PAD IS NOT REQUIRED FOR VALVE LOCATED IN THE ROADWAY, UNLESS SHOWN OR NOTED OTHERWISE.
 - LOCATING WIRE IS REQUIRED ON ALL PRESSURE PIPING (SEE DETAIL W-44).
 - A "Y" CUT SHALL BE CARVED IN THE CURB CLOSEST ADJACENT (ASPHALT IF NO CURB) TO ALL BELOW GRADE VALVES. THE "Y" CUT IS TO BE PAINTED BLUE WATER/PURPLE RECLAIMED.
 - IN PAVED AREAS, INSTALL VALVE AT A DEPTH TO ALLOW A 12" MIN. DISTANCE BETWEEN THE VALVE COVER PLATE AND THE TOP OF THE VALVE OPERATING NUT. OUTSIDE OF PAVED AREAS (GRASS), INSTALL VALVE AT A DEPTH TO ALLOW A 6" MINIMUM DISTANCE BETWEEN THE VALVE COVER AND THE TOP OF THE VALVE OPERATING NUT. OPERATING NUTS MUST BE PROVIDED (WHERE APPLICABLE) SO THAT THE OPERATING NUT WILL BE NO MORE THAN 30 INCHES BELOW FINISHED GRADE.
 - FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS. ROUTE LOCATING WIRES THRU A "Y" CUT IN THE TOP OF THE 6" PVC RISER PIPE FOR LOCATE WIRE ACCESS INTO VALVE BOX. THE LOCATE WIRES WITH A 24" LONG PIG-TAIL AT THE TOP SHALL BE CONNECTED TOGETHER WITH A WIRE NUT.
 - BRASS IDENTIFICATION TAG INDICATING "WATER", VALVE SIZE, DIRECTION AND TURNS TO OPEN A VALVE TYPE. PROVIDE A 2" HOLE IN BRASS TAG AND ATTACH TAG (FIRST WIRE AROUND TAG) TO THE END OF THE LOCATE WIRE. TAGS ARE NOT REQUIRED ON VALVES INSTALLED ON FIRE HYDRANT BRANCH LINES.
 - IN LIEU OF PRECAST CONCRETE PAD, A 6" THICK X 24" (ROUND OR SQUARE) POURED CONCRETE PAD W/2 - #4 REBAR AROUND PERIMETER, MAY BE USED.
 - GRAVEL SHALL BE PROVIDED UNDER ALL VALVES 20" AND LARGER. THE MINIMUM VERTICAL LIMIT OF GRAVEL IS 12" UNDER THE VALVE UP TO THE OVERALL HEIGHT OF THE VALVE.
 - FOR VALVES 12 INCH AND SMALLER, PROVIDE A WHITE OR BLACK PLASTIC DEBRIS SHIELD WHICH INSTALLS BELOW THE OPERATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE OPERATING NUT AND MINIMIZE INFILTRATION. SHIELD SHALL BE BY AFS, BOX-LOK OR APPROVED EQUAL.
 - ALL VALVES SHALL BE INSTALLED WITH AN ELECTRIC LOCATE MARKER. MARKER SHALL BE 4" DIA. COLOR CODED BALL MARKER (3M-1403XR FOR WATER AND 1408XR FOR RECLAIMED WATER).

WATER VALVE INSTALLATION DETAIL

JANUARY 2022 PLATE W-18

DOMINION ENGINEERING GROUP, INC.
4348 SOUTHPOINT BLVD., SUITE 204
CORAL GABLES, FLORIDA 33136
305-454-1600

NO. SHEETS: 1
SHEET NO. CS-24-321
DRAWING NO. 5-20-21

DATE: JANUARY 2014
SCALE: AS NOTED

PROJ. NO. 01704/2024
Other Doc. No. 501
AWC Project No. 1818

REVISIONS:

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			

ADD & WHIS CONSULTANTS, LLC
AS-BUILT
Job #: 1818
Checked by: [Signature]
Date: 12/31/2024

JEA STANDARD
WATER AND RECLAIM DETAILS

Z:\General Civil\Competition\The Station\Cadd\Design\WATER AND RECLAIM\DETAILS.dwg Current Layout Tab = C20 Wed Jan 03, 2024 - 16:31

PVC PIPE RESTRAINT NOTES:

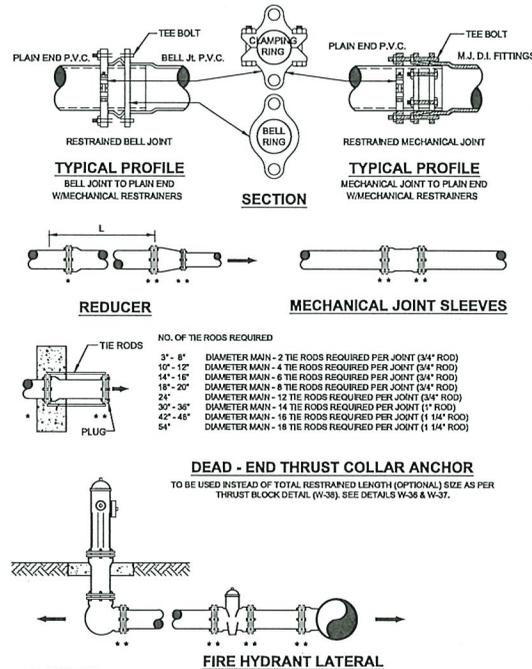
- THIS SCHEDULE SHALL BE UTILIZED ON ALL WATER, SEWER FORCE MAIN OR RECLAIMED WATER SYSTEMS. ALL FITTINGS SHALL BE RESTRAINED TO LENGTHS INDICATED ON THE ABOVE SCHEDULE, AT A MINIMUM.
- ASSUMPTIONS: PVC PIPE, SAFETY FACTOR=1.5, TEST PRESSURE=150PSI, SOIL-GM OR SM, TRENCH TYPE 3, DEPTH OF COVER=30 INCHES FOR 20" AND SMALLER PIPE SIZE OR 36 INCHES FOR 24" AND LARGER PIPE SIZE.
- BENDS AND VALVES: SHALL BE RESTRAINED ON EACH SIDE OF FITTING.
- VERTICAL OFFSETS: ARE APPROX. 3 FEET COVER ON TOP AND APPROX. 8 FEET COVER ON BOTTOM. PER THE DETAILS, LU IS THE RESTRAINED LENGTH FOR THE UPPER (TOP) LEVEL. LI IS THE RESTRAINED LENGTH FOR THE LOWER (DEEPER) LEVEL. ASSUME 45 DEGREE BENDS.
- TEES: TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN). SEE SCHEDULE ABOVE FOR RESTRAINT LENGTH ON TEE "BRANCH" LINE.
- HOPE TO PVC TRANSITIONS: THE PVC PIPE SIDE SHALL BE RESTRAINED 35 FT (MIN).
- THE INSTALLATION OF BELL HARNESS RESTRAINTS AT PVC JOINTS (DR-18 & 25 PIPE) SHALL BE COMPLETED PER THE MANUFACTURER'S RECOMMENDATION, WHICH INCLUDES NOT OVER TIGHTENING THE PARALLEL RODS/NUTS. THESE NUTS SHOULD ONLY BE SNUG TIGHT. THE MARKINGS ON THE PIPE SHOULD ALWAYS BE VISIBLE AFTER THE RESTRAINT IS INSTALLED. OVERLOADING THE JOINT MAY CAUSE A FAILURE AT THE BELL RESULTING IN A SERVICE OUTAGE.

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS				VERTICAL OFFSETS (SEE NOTE 4)		VALVES OR DEAD ENDS	REDUCERS		TEES (SEE NOTE 5)		
	90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	UPPER L (FT.)	LOWER L (FT.)		SIZE (IN.)	L (FT.)	RUN SIZE (IN.)	BRANCH SIZE (IN.)	L (FT.)
4	21	9	5	3	17	3	47	6x4	34	4	4	F.O.
6	30	13	6	3	23	4	66	8x6	36	4	6	F.O.
8	38	16	8	4	30	6	86	8x4	62	8	8	F.O.
10	45	19	9	5	36	7	103	10x8	35	8	10	F.O.
12	53	22	11	6	43	8	121	10x6	63	10	10	F.O.
14	61	26	13	6	50	9	140	12x8	36	8	13	F.O.
16	66	28	14	7	55	10	154	12x6	64	12	12	F.O.
18	73	30	15	8	60	11	170	16x10	52	12	16	F.O.
20	79	33	16	8	65	12	186	20x18	35	16	20	F.O.
24	79	33	16	8	77	15	185	20x12	117	10	5	F.O.
30	93	39	19	10	97	17	222	24x20	56	20	20	F.O.
36	106	39	21	11	107	20	257	24x18	80	24	24	F.O.
42	117	49	24	12	120	24	289	30x24	78	24	24	F.O.
48	144	53	26	13	133	26	321	36x30	78	30	30	F.O.
								36x24	141	30	30	F.O.
								42x36	75	36	36	F.O.
								48x42	75	42	42	F.O.
								48x36	139	36	36	F.O.

PVC PIPE RESTRAINT JOINT SCHEDULE

JANUARY 2022

PLATE W-31A



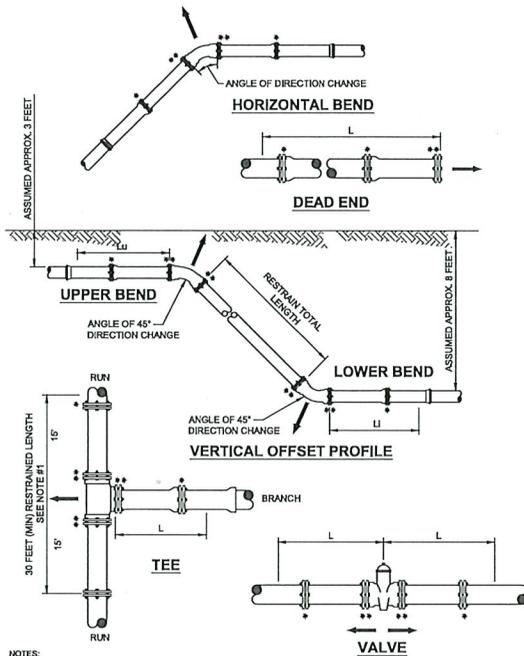
GENERAL NOTE:

- PAY ITEM **** DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIS.
- PAY ITEM ***** DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE.
- ➔ INDICATES DIRECTION OF THRUST FORCE.

MECHANICAL RESTRAINT DETAILS - I

JANUARY 2022

PLATE W-31C



NOTES:

- TOTAL LENGTH BETWEEN FIRST JOINTS OR RESTRAINED LENGTH ON EITHER SIDE OF TEE (RUN) SHALL BE A TOTAL DISTANCE OF 30 FEET (MIN).
- PAY ITEM **** DENOTES A RESTRAINT WHICH IS PAID FOR ON A PER EACH BASIS.
- PAY ITEM ***** DENOTES A RESTRAINT WHICH IS INCLUDED IN THE UNIT PRICE BID FOR FITTING OR VALVE.

MECHANICAL RESTRAINT DETAILS - II

JANUARY 2022

PLATE W-31D

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS				VERTICAL OFFSETS (SEE NOTE 4)		VALVES OR DEAD ENDS	REDUCERS		TEES (SEE NOTE 5)		
	90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	UPPER L (FT.)	LOWER L (FT.)		SIZE (IN.)	L (FT.)	RUN SIZE (IN.)	BRANCH SIZE (IN.)	L (FT.)
4	17	7	4	2	11	3	30	6x4	22	4	4	F.O.
6	24	15	5	3	15	4	42	8x6	23	4	6	F.O.
8	31	13	6	3	20	5	55	8x4	39	8	8	F.O.
10	38	15	8	4	23	6	66	10x8	22	8	10	F.O.
12	42	18	9	5	27	7	77	10x6	40	10	12	F.O.
14	48	20	10	5	31	7	87	12x8	41	12	14	F.O.
16	63	22	11	6	35	8	97	16x12	23	12	16	F.O.
18	68	24	12	6	39	9	107	16x10	58	16	18	F.O.
20	63	27	13	6	42	10	118	20x18	22	16	20	F.O.
24	63	27	13	7	49	12	118	20x12	74	20	20	F.O.
30	75	31	15	8	59	14	141	24x20	36	20	24	F.O.
36	86	36	17	9	68	17	163	24x18	51	24	24	F.O.
42	95	40	19	10	78	19	183	30x24	50	24	24	F.O.
48	117	43	21	11	84	21	203	36x30	50	30	30	F.O.

NOMINAL PIPE SIZE (IN.)	HORIZONTAL BENDS				VERTICAL OFFSETS (SEE NOTE 4)		VALVES OR DEAD ENDS	REDUCERS		TEES (SEE NOTE 5)		
	90° BENDS L (FT.)	45° BENDS L (FT.)	22.5° BENDS L (FT.)	11.25° BENDS L (FT.)	UPPER L (FT.)	LOWER L (FT.)		SIZE (IN.)	L (FT.)	RUN SIZE (IN.)	BRANCH SIZE (IN.)	L (FT.)
4	17	7	4	2	11	3	30	6x4	22	4	4	F.O.
6	24	15	5	3	15	4	42	8x6	23	4	6	F.O.
8	31	13	6	3	20	5	55	8x4	39	8	8	F.O.
10	38	15	8	4	23	6	66	10x8	22	8	10	F.O.
12	42	18	9	5	27	7	77	10x6	40	10	12	F.O.
14	48	20	10	5	31	7	87	12x8	41	12	14	F.O.
16	63	22	11	6	35	8	97	16x12	23	12	16	F.O.
18	68	24	12	6	39	9	107	16x10	58	16	18	F.O.
20	63	27	13	6	42	10	118	20x18	22	16	20	F.O.
24	63	27	13	7	49	12	118	20x12	74	20	20	F.O.
30	75	31	15	8	59	14	141	24x20	36	20	24	F.O.
36	86	36	17	9	68	17	163	24x18	51	24	24	F.O.
42	95	40	19	10	78	19	183	30x24	50	24	24	F.O.
48	117	43	21	11	84	21	203	36x30	50	30	30	F.O.

DUCTILE IRON PIPE RESTRAINT JOINT SCHEDULE

JANUARY 2022

PLATE W-31B

DOMINION ENGINEERING GROUP, INC.
4348 SOUTHPOINT BLVD., SUITE 204
TALLAHASSEE, FLORIDA 32316
904-564-1450

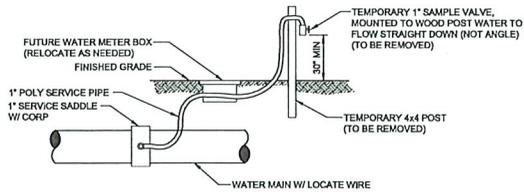


JEA STANDARD
WATER AND RECLAIM DETAILS

Asst & White Constructors, LLC
AS-BUILDERS
Job # 1818
Checked by: RJQ
Date: 12/11/2024

01/04/2024
Other Doc. No. 501
AWC Project No. 1818

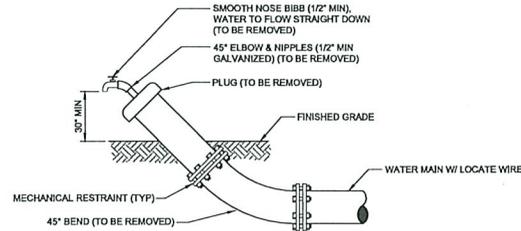
NO. SHEETS	PROJ. NO.	DATE	SCALE
SHEET NO. 021	JANUARY 2014		AS NOTED
DRAWING NO. S-32101			



TEMPORARY SAMPLE TAP UTILIZING A NEW 1" WATER SERVICE

NOTES:

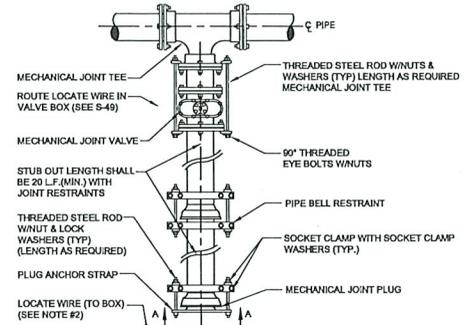
1. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROAD SHOULDERS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTINGS (AS NOTED) AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED.
3. THE CONTRACTOR SHALL UTILIZE THE ABOVE ALTERNATIVE METHODS FOR CONSTRUCTION OF TEMPORARY SAMPLE POINTS IN ALL AREAS, WHERE POSSIBLE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL JEA RULES AND POLICIES AS OUTLINED BY THE JEA'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED JEA STANDARDS.



TEMPORARY SAMPLE TAP UTILIZING PLUG AT FLUSHING LOCATION

NOTES:

1. LOCATION OF SAMPLE POINT BIBB SHALL NOT BE WITHIN THE ROADWAY BUT ROUTED TO THE ROAD SHOULDERS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY PIPING & FITTINGS (AS NOTED) AFTER BACTERIOLOGICAL CLEARANCE IS RECEIVED.
3. THE CONTRACTOR SHALL UTILIZE THE ABOVE ALTERNATIVE METHODS FOR CONSTRUCTION OF TEMPORARY SAMPLE POINTS IN ALL AREAS, WHERE POSSIBLE.
4. THE CONTRACTOR SHALL COMPLY WITH ALL JEA RULES AND POLICIES AS OUTLINED BY THE JEA'S ENVIRONMENTAL RESPONSE COORDINATOR (ERC) AND OTHER ASSOCIATED JEA STANDARDS.



PLAN



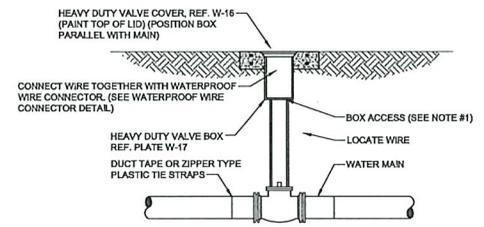
SECTION "A-A"

NOTES:

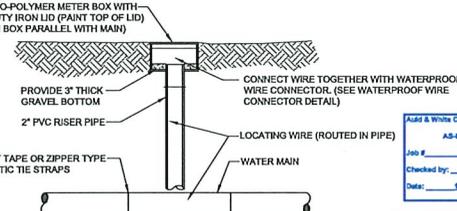
1. IN LIEU OF BELL/ROD RESTRAINTS, MECHANICAL JOINT RESTRAINTS MAY BE USED.
2. LOCATING WIRE REQUIRED, UTILIZING A LOCATE WIRE BOX INSTALLED AT PLUG LOCATION.
3. NUMBER OF THE RODS REQUIRED IS AS FOLLOWS:
 3" - 8" DIAMETER MAIN - 2 TIE RODS REQUIRED PER JOINT (3/4" ROD)
 10" - 12" DIAMETER MAIN - 4 TIE RODS REQUIRED PER JOINT (3/4" ROD)
 14" - 18" DIAMETER MAIN - 6 TIE RODS REQUIRED PER JOINT (3/4" ROD)
 18" - 20" DIAMETER MAIN - 8 TIE RODS REQUIRED PER JOINT (3/4" ROD)
 24" DIAMETER MAIN - 12 TIE RODS REQUIRED PER JOINT (3/4" ROD)
 30" - 36" DIAMETER MAIN - 14 TIE RODS REQUIRED PER JOINT (1" ROD)
 42" - 48" DIAMETER MAIN - 16 TIE RODS REQUIRED PER JOINT (1 1/4" ROD)
 54" DIAMETER MAIN - 18 TIE RODS REQUIRED PER JOINT (1 1/4" ROD)
4. THE LOCATION OF THE DEAD END PLUG SHALL NOT BE UNDER PAVEMENT, IF POSSIBLE. THE STUB OUT SHALL EXTEND BEYOND THE INTERSECTION AREAS OR ROAD CROSSING BY 10 FEET (MIN) WHERE POSSIBLE.

PLUGGED DEAD END USING MECHANICAL RESTRAINTS

JANUARY 2022 PLATE W-37



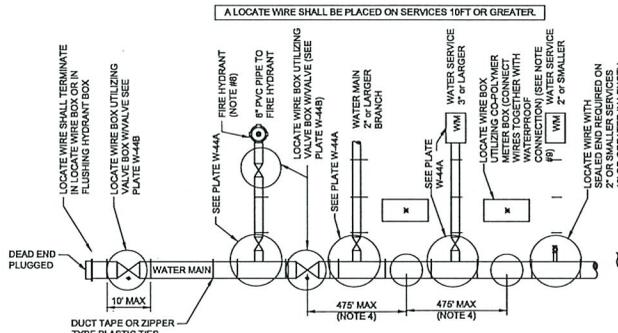
LOCATE WIRE BOX UTILIZING VALVE BOX



LOCATE WIRE BOX UTILIZING METER BOX

JANUARY 2022 PLATE W-44B

TEMPORARY SAMPLE TAP ALTERNATIVE METHOD A
JANUARY 2022 PLATE W-24



LOCATE WIRE SYSTEM

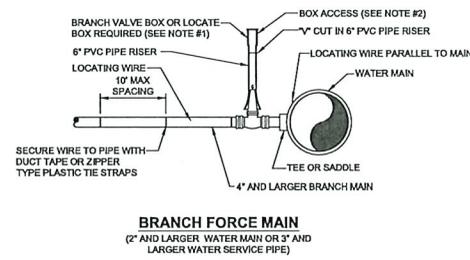
NOTES:

1. LOCATING WIRE TO BE INSTALLED IN EITHER THE ONE OR ELEVEN O'CLOCK POSITION ON ALL DUCTILE IRON OR PVC (PRESSURE MAINS). LOCATE WIRE SHALL ALSO BE INSTALLED ON ALL (RIGID) POLY MAIN PIPING (100 OR 1100 POSITION, IF POSSIBLE).
2. SECURE LOCATING WIRE TO PVC & D.L.P. WATER MAIN BY USE OF DUCT TAPE OR ZIPPER TYPE PLASTIC TIE STRAPS SPACED AT A MAXIMUM DISTANCE OF TEN (10') AND AT EACH SIDE OF BELL JOINT OR FITTING.
3. THE ENTIRE LOCATING SYSTEM SHALL BE SUBJECTED TO TESTING TO DETERMINE ITS RELIABILITY, WHERE INSTALLED UNDER PAVEMENT AREAS, TESTING SHALL BE DONE PRIOR TO THE PLACEMENT OF PAVEMENT, UNLESS APPROVED OTHERWISE BY JEA.
4. LOCATING WIRE SHALL TERMINATE WITHIN AN ACTIVE VALVE BOX (WITH A VALVE) OR A METER BOX (IF NO VALVE) AT 475' INTERVALS. SEE DETAIL PLATE W-44B. WIRE CONNECTIONS BELOW GROUND (OUTSIDE OF A BOX) SHALL BE AVOIDED.
5. REFER TO SECTION 350 FOR LOCATE WIRE SPECIFICATIONS.
6. "X" INDICATES THAT THE WIRES ARE CONNECTED TOGETHER WITH A WATERPROOF CONNECTION. (SEE DETAIL W-44B)
7. "L" INDICATES A WIRE FIG-TAIL (4' LONG)
8. FOR FIRE HYDRANT LOCATE WIRE REQUIREMENTS AND EXCLUSIONS, SEE PLATES W-12,13 AND 14.
9. AN "LW" CUT SHALL BE CARVED IN THE CONCRETE CURB AND PAINTED AT ALL LOCATE WIRE BOXES.
10. FOUR LANES OF TRAFFIC (HAVING TWO LANES OF TRAFFIC IN EACH DIRECTION) OR GREATER THE LOCATE WIRE AND VALVE BOX SHALL BE OFF-SET TO THE RIGHT-OF-WAY.

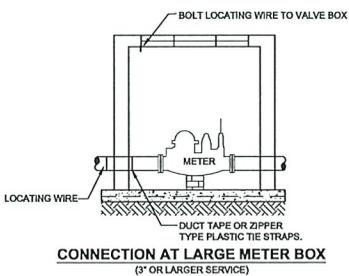
LOCATE WIRE CONSTRUCTION FOR WATER MAINS

JANUARY 2022 PLATE W-44

TEMPORARY SAMPLE TAP ALTERNATIVE METHOD B
JANUARY 2022 PLATE W-24A



BRANCH FORCE MAIN (2" AND LARGER WATER MAIN OR 3" AND LARGER WATER SERVICE PIPE)



CONNECTION AT LARGE METER BOX (3" OR LARGER SERVICE)

NOTES:

1. NOTE THAT THE BRANCH WIRE IS NOT CONNECTED TO THE MAIN WIRE.
2. LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A 1/2" CUT IN THE 6" PVC RISER PIPE SECTION (SEE W-18).
3. LOCATE WIRE SHALL HAVE ENOUGH SLACK TO REACH 4" ABOVE FINAL GRADE AND LOCATE POINTS.

LOCATE WIRE FOR BRANCH MAIN

JANUARY 2022 PLATE W-44A

DOMINION ENGINEERING GROUP, INC. 4348 SOUTHPOINT BLVD., SUITE 204 JACKSONVILLE, FLORIDA 32216 904-684-9680	
NO.	DATE
1	1/24/2024
2	1/24/2024
3	1/24/2024
4	1/24/2024
5	1/24/2024
6	1/24/2024
7	1/24/2024
8	1/24/2024
9	1/24/2024
10	1/24/2024



JEA STANDARD
WATER AND RECLAIM DETAILS

Add & White Constructors, LLC.
AS-BUILT
Job # 1818
Checked by: RJG
Date: 1/23/2024

01/04/2024
Other Doc. No. 501
AWC Project No. 1818

NO. SHEETS	PROJ. NO.	DATE	SCALE
1	AS-BUILT	JANUARY 2024	AS NOTED
SHEET NO.	DRAWING NO.		
1	S-STD-1		

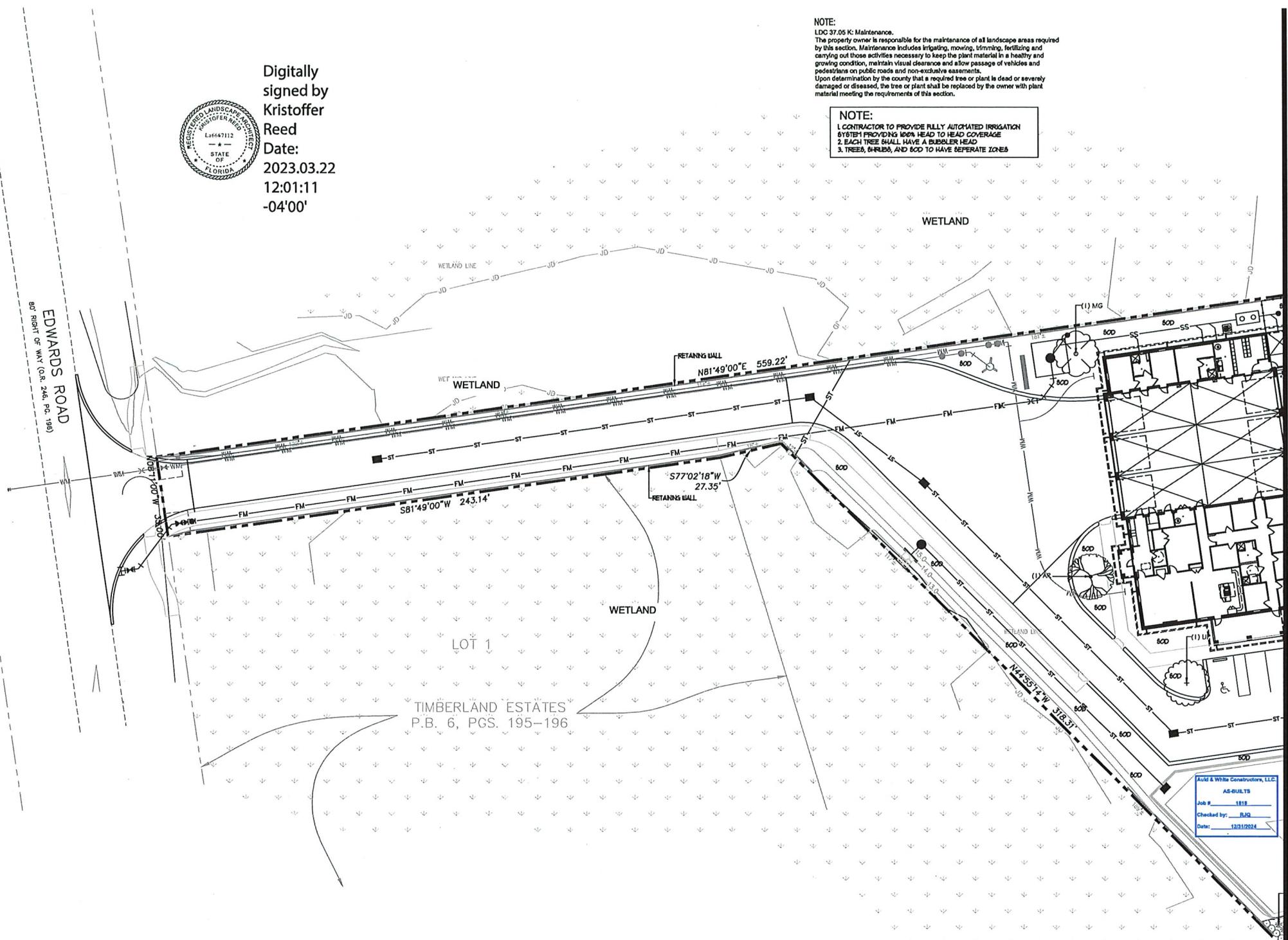
Z:\General_Civil\Competition\Fire Station\Cadd\design\large station\water and reclaim\details.dwg Current Layout Tab = C22 Wed Jan 03, 2024 - 16:31



Digitally signed by
 Kristoffer Reed
 Date: 2023.03.22
 12:01:11
 -04'00'

NOTE:
 LDC 37.05 K: Maintenance.
 The property owner is responsible for the maintenance of all landscape areas required by this section. Maintenance includes irrigating, mowing, trimming, fertilizing and carrying out those activities necessary to keep the plant material in a healthy and growing condition, maintain visual clearance and allow passage of vehicles and pedestrians on public roads and non-exclusive easements.
 Upon determination by the county that a required tree or plant is dead or severely damaged or diseased, the tree or plant shall be replaced by the owner with plant material meeting the requirements of this section.

NOTE:
 1. CONTRACTOR TO PROVIDE FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% HEAD TO HEAD COVERAGE
 2. EACH TREE SHALL HAVE A BUBBLER HEAD
 3. TREES, BARRIERS, AND 60D TO HAVE SEPERATE ZONES



CS-24-321



A & K LAND PLANNING & DESIGN
 PROJECT: 2023-03-22
 4800 W. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33433
 PHONE: 561-993-1111
 WWW.A&KLANDPLANNING.COM

EDWARDS ROAD
 FIRE STATION
 FOR
 THREE RIVER CDD

REVISIONS :
 3/22/23 PER COUNTY COMMENTS



DATE : November 15, 2022
 PROJECT NO. : 2022104
 DESIGNED BY : K&R
 DRAWN BY : K&R
 CHECKED BY : K&R
 SCALE : 1" = 20'

SHEET TITLE
 LANDSCAPE PLAN
 L-1
 SHEET

01/04/2024
 Other Doc. No. 501
 AWC Project No. 1818

Acid & White Constructors, LLC
 AS-BUILTS
 Job #: 1818
 Checked by: RJQ
 Date: 12/21/2024



A & K LAND PLANNING & DESIGN, INC.
 4415 W. 10th Street, Suite 100
 Oklahoma City, Oklahoma 73107
 Phone: (405) 761-1111
 Fax: (405) 761-1112
 Email: info@aklandplanning.com

EDWARDS ROAD
 FIRE STATION
 FOR
 THREE RIVER CDD

LANDSCAPE CALCULATIONS:

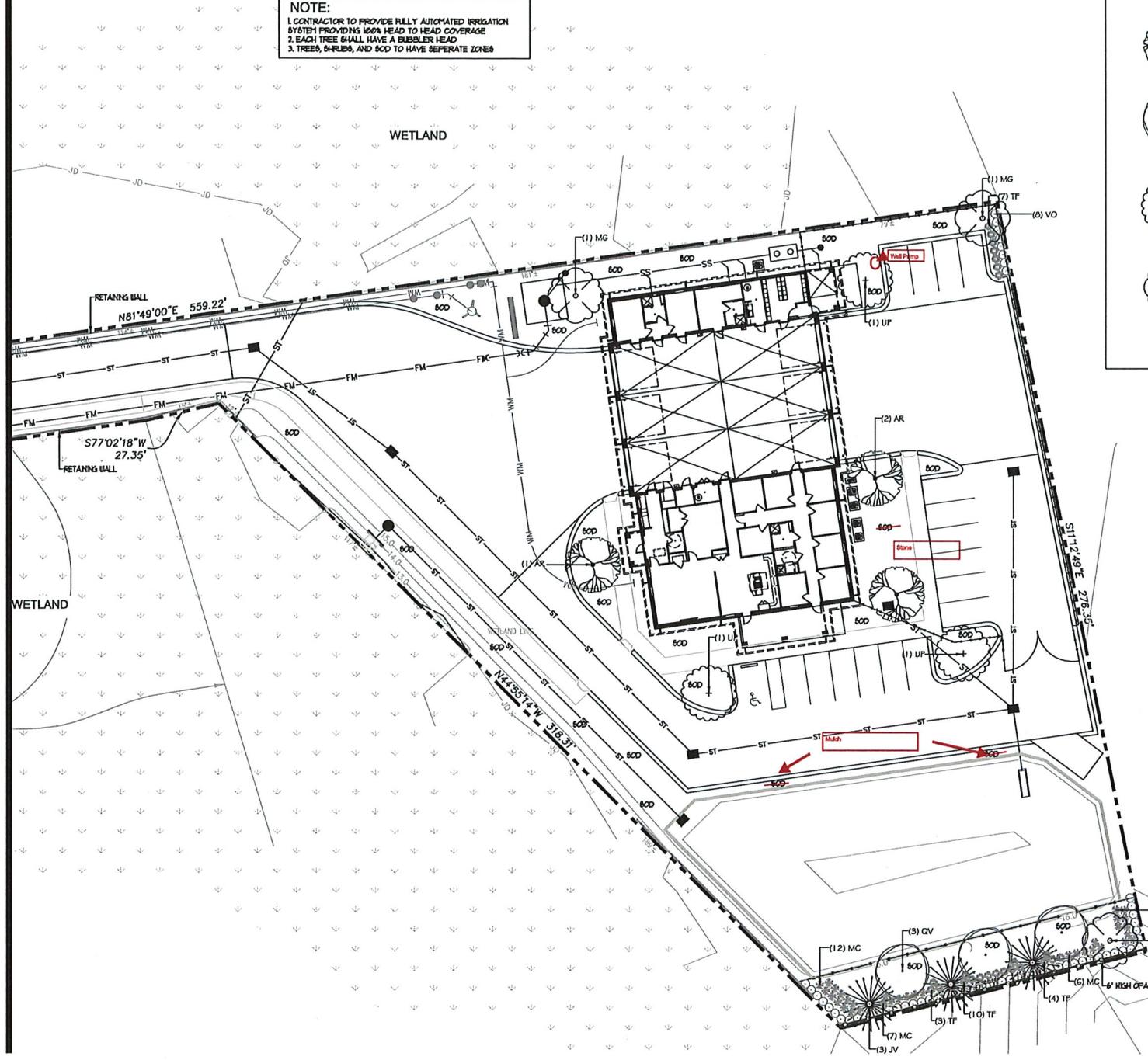
TOTAL AREA:	Public Building
ZONING:	6,574 SF.
LOT AREA/CLEARING AREA:	6,574 SF.
10% LOT REG. OPEN SPACE AREA - PERMETER	657.4 SF.
OPEN SPACE AREA PROVIDED:	23,514 SF.
1 TREE / 500 SF. OF REQUIRED OPEN SPACE:	14 TREES
TREES PROVIDED:	5 TREES
PERMETER AREA REQUIREMENT BREAKDOWN	
PERMETER AREA NORTH SIDE:	539 LF.
N/A	N/A
AREA REQUIRED:	N/A
AREA PROVIDED:	2,695 SF.
PERMETER AREA SOUTH SIDE:	14 LF.
20' SF. / LF. = 20' x 14 LF. (LOW DENSITY)	
AREA REQUIRED:	2,800 SF.
AREA PROVIDED:	2,800 SF.
PERMETER AREA EAST SIDE:	271 LF.
N/A	N/A
AREA REQUIRED:	N/A
AREA PROVIDED:	N/A
PERMETER AREA WEST SIDE:	5 LF.
10' SF. / LF. = 10' x 5 LF. (LOCAL ROW)	
AREA REQUIRED:	50 SF.
AREA PROVIDED:	50 SF.
PERMETER AND INTERIOR TREE REQUIREMENT BREAKDOWN	
N/A PUBLIC AREA:	
INTERNAL LANDSCAPE:	
1 TREE / 10 SPACES + 11 SPACES / 10	
TREES REQUIRED:	2
TREES PROVIDED:	2
PERMETER TREES NORTH SIDE:	
N/A	539 LF.
TREES REQUIRED:	N/A
TREES PROVIDED:	1959
PERMETER TREES SOUTH SIDE:	
Low density (20' width, 3 CANOPY + 61 SHRUB / 100 LF. + 6' Optique Fence)	14 LF.
TREES REQUIRED:	4C + 1T5
TREES PROVIDED:	4C + 1T5
PERMETER TREES EAST SIDE:	
N/A	271 LF.
TREES REQUIRED:	N/A
TREES PROVIDED:	N/A
PERMETER TREES WEST SIDE:	
Local Roadway (10' Width, 2 Canopy + 3 Under, + Hedge / 100 LF.)	5 LF.
TREES REQUIRED:	6C + 8U + Hedge
TREES PROVIDED:	6C + 8U + Hedge

TREE KEY:

-  RED CEDAR JV
-  RED MAPLE AR
-  LIVE OAK QV
-  AMERICAN ELM UP
-  MAGNOLIA MS

NOTE:
 LDC 37.05 K: Maintenance.
 The property owner is responsible for the maintenance of all landscape areas required by this section. Maintenance includes irrigating, mowing, trimming, fertilizing and carrying out those activities necessary to keep the plant material in a healthy and growing condition, maintain visual clearance and allow passage of vehicles and pedestrians on public roads and non-exclusive easements.
 Upon determination by the county that a required tree or plant is dead or severely damaged or diseased, the tree or plant shall be replaced by the owner with plant material meeting the requirements of this section.

NOTE:
 1. CONTRACTOR TO PROVIDE FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% HEAD TO HEAD COVERAGE
 2. EACH TREE SHALL HAVE A BUBBLER HEAD
 3. TREES, SHRUBS, AND SOD TO HAVE SEPARATE ZONES



Ask & White Constructors, LLC
 AS-BUILTS
 Job #: 1818
 Checked by: RAQ
 Date: 12/1/2024

01/04/2024
 Other Doc. No. 501
 AWC Project No. 1818

REVISIONS :
 3/22/23 PER COUNTY COMMENTS



DATE : November 15, 2022
 PROJECT NO. : 2022104
 DESIGNED BY : K&R
 DRAWN BY : K&R
 CHECKED BY : K&R
 SCALE : 1" = 20'

SHEET TITLE
 LANDSCAPE PLAN
 L-2
 SHEET



A & K LAND PLANNING & DESIGN
 415 STATE STREET, SUITE 200, PALM BEACH, FLORIDA 33480
 PHONE: (561) 853-1111
 FAX: (561) 853-1112
 WWW: WWW.AKLANDPLANNING.COM

General Notes and Specifications

- Prior to construction the landscape contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The landscape contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc., which occurs as a result of the landscape construction.
- When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions or obstructions, notify owner's representative before planting.
- All plants must be healthy, vigorous material, free of pests and disease.
- All trees, palms, and shrubs shall be grade "Florida Fancy" per Grades and Standards For Nursery Plants (parts one and two), available through Florida Dept. of Agriculture and Consumer Services.
- All plant material must be approved by the Landscape Architect before the plant material is installed.
- Any changes to the plant material (size, type, etc.), irrigation or any other deviations from the plans must be approved by the Landscape Architect prior to the change being implemented by the contractor. The contractor must provide written proof of authorization for any changes.
- All plants to be field grown or container grown as indicated on plant list. Store plants in shade and protect from weather. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to owner's rep. Do not remove container grown stock from containers until planting time. Protect roots of plant from drying or other possible injury. Keep plant ball moist at all times.
- All plants shall be burlap wrapped.
- Obtain agronomic soils test for all planting areas and tree pits prior to excavation of tree pits. Tests shall be performed by an approved soils testing laboratory and shall include fertility and suitability analysis with written recommendations for soil amendments, fertilizer and chemical conditioner application rates for soil preparation, planting backfill mix, and post maintenance fertilization program. Submit a copy of soils report to owner's rep. and landscape architect.
- Add soil amendments as recommended by soil test in quantities necessary to bring soil mixture to pH rating of between 5.5 and 6.0. Minerals used for pH correction shall be commercially produced for this purpose.
- All plants and planting areas must be completely mulched as specified with three (3) inches of organic mulch. Provide 4" minimum clearance of mulch from all shrub trunks and 6" minimum clearance from all tree trunks.
- The landscape contractor is responsible for verifying all quantities shown on these plans, before pricing the work.
- The planting shall be done in accordance with acceptable horticultural practices. This is to include proper planting mix, plant and tree pit preparation, pruning, staking or guying, wrapping, spraying, fertilization, planting, and adequate maintenance throughout the required maintenance period.
- The landscape contractor is responsible for fully maintaining all planting (including but not limited to: pruning, watering, fertilizing, cultivating, weeding, mowing, mulching, lightning and repotting of guys, resetting plants to proper grade or upright position, restoration of plant bases, and furnishing and applying such sprays as necessary to keep free of insects and diseases. The landscape contractor's responsibility for maintenance (exclusive of replacement within the guarantee period) shall terminate one year from the date of final acceptance by owner and landscape architect.
- All trees, palms, shrubs and plant material shall be warranted for a period of one year after date of completion and acceptance of the entire project. Final acceptance of all landscaping under this contract shall constitute the beginning of the guarantee period. Replace, in accordance with the drawings and specifications, all plants that are dead or, as determined by the owner's representative, are in an unhealthy or unightly condition, and have lost their natural shape due to dead branches, or other causes due to the contractor's negligence. Furnish and plant replacements which comply with requirements shown and specified. Warrant all replacement plants for one year after installation. The cost of such replacement(s) is at the contractor's expense.
- All plants are subject to approval by the owner's representative. Prior to planting, all trees and palms must be approved by the owner or owner's rep.
- Standards set forth in "American Standard for Nursery Stock" represent guideline specifications only and shall constitute minimum quality requirements for plant material.
- At the conclusion of this planting, if the owner's rep. or owner has reason to believe that the plants are not of the specified grade, he will request a re-grading or inspection, and such evidence will be the basis for requesting replacement of plants and for legal or other action according to law, should this become necessary.
- All planting beds to be treated with pre-emergent weed control prior to planting.
- Contractor is to check the site weekly to insure all plant material is healthy and well watered.
- All disturbed areas to be sodded or seeded with *Paspalum notatum* as noted.

PLANT SCHEDULE FIRE STATION

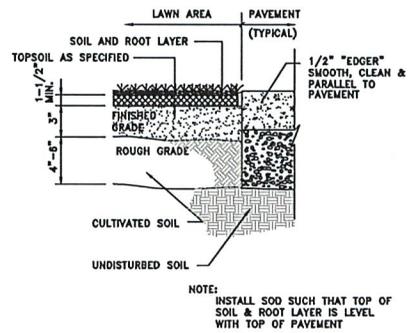
TREES	QTY	COMMON / BOTANICAL NAME	SPECIFICATIONS	PERCENTAGE
AR	5	Red Maple / <i>Acer rubrum</i>	AS SHOWN 3" cal 10' - 12' H., 8' - 6" spd.	20%
JV	5	Eastern Red Cedar / <i>Juniperus virginiana</i>	AS SHOWN 3" cal 10' - 12' H., 8' - 6" spd.	20%
MS	5	Southern Magnolia / <i>Magnolia grandiflora</i>	AS SHOWN 3" cal 10' - 12' H., 8' - 6" spd.	20%
GV	5	Southern Live Oak / <i>Quercus virginiana</i>	AS SHOWN 3" cal 10' - 12' H., 8' - 6" spd.	20%
UP	5	Drake Elm / <i>Ulmus parvifolia 'Drake'</i>	AS SHOWN 3" cal 10' - 12' H., 8' - 6" spd.	20%
SHRUBS	QTY	COMMON / BOTANICAL NAME	SPECIFICATIONS	
MC	54	Pink Mahi / <i>Muhlenbergia capillaris</i>	36" o.c. 24" H. x 24" spd. minimum full 4 dense	100% native
TP	24	Pink Shoebush / <i>Tripsacum dactyloides</i>	36" o.c. 24" H. x 24" spd. minimum full 4 dense	100% native
VO	55	Dwarf Kalm's Viburnum / <i>Viburnum cavaatum 'Dwarf Kalm's'</i>	36" o.c. 24" H. x 24" spd. minimum full 4 dense	100% native

NOTES:

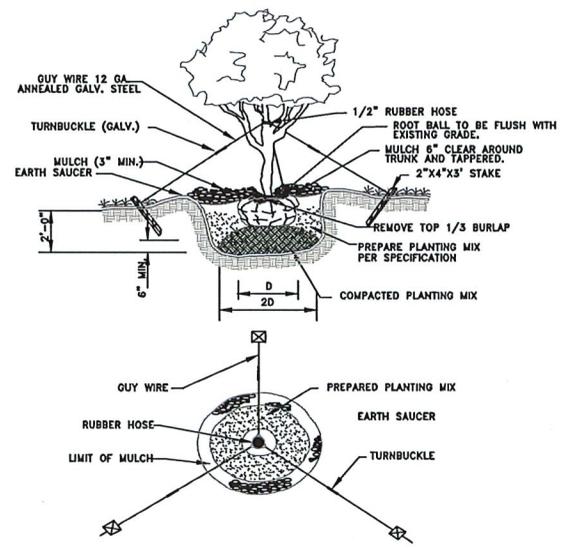
- MULCH ALL PLANTING BEDS WITH 3" ORGANIC MULCH.
- ALL DISTURBED AREAS NOT OTHERWISE LANDSCAPED SHALL BE SODDED WITH BAHIA SOD.
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 QUALITY OR BETTER.
- NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- ALL TREES AND PLANTS SHALL MEET MINIMUM SPECIFIED SIZES IN INCHES AND FEET, REGARDLESS OF CONTAINER SIZE INDICATED. WHERE DIFFERENCES OCCUR, THE LARGER SPECIFICATION SHALL PREVAIL.
- CONTRACTOR TO VERIFY ALL QUANTITIES.

ORDINANCE CHAPTER 366 SCHEDULE AND IRRIGATION REQUIREMENTS:

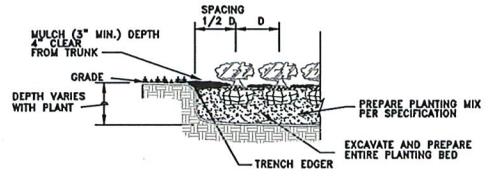
- | | |
|--|--|
| MARCH-NOVEMBER (DAYLIGHT SAVINGS TIME) | NOVEMBER - MARCH (STANDARD TIME) |
| <ul style="list-style-type: none"> NO WATERING FROM 10AM TO 4 PM ODD NUMBER ADDRESSES OR THOSE ENDING WITH N-Z OR NO ADDRESS MAY WATER ON WEDNESDAY AND SATURDAY EVEN NUMBER ADDRESSES OR THOSE ENDING WITH A-H MAY WATER ON THURS. AND SUNDAY NON-RESIDENTIAL ADDRESSES MAY WATER ON TUESDAY AND FRIDAY APPLY UP TO 1/2 - INCH OR LESS OF WATER EACH CYCLE | <ul style="list-style-type: none"> NO WATERING FROM 10 AM TO 4 PM ODD NUMBER ADDRESSES OR THOSE ENDING WITH N-Z OR NO ADDRESS MAY WATER ON SATURDAY EVEN NUMBER ADDRESSES OR THOSE ENDING WITH A-H MAY WATER ON SUNDAY NON-RESIDENTIAL ADDRESSES MAY WATER ON ONLY ON TUESDAY APPLY UP TO 1/2 - INCH OR LESS OF WATER ONE TIME PER WEEK |



SOD DETAIL



TREE PLANTING DETAIL



SHRUB & GROUND COVER PLANTING DETAIL

AWK & White Constructors, LLC
 AS-BUILTS
 Job # 1818
 Checked by: RJH
 Date: 12/31/2024

01/04/2024
 Other Doc. No. 501
 AWC Project No. 1818

EDWARDS ROAD
 FIRE STATION
 FOR
 THREE RIVER CDD

REVISIONS :
 3/22/23 PER COUNTY COMMENTS

DATE : November 15, 2022
 PROJECT NO. : 2022104
 DESIGNED BY : KGR
 DRAWN BY : KGR
 CHECKED BY : KGR
 SCALE : N/A

SHEET TITLE
 PLANTING
 DETAILS

NEW BUILDING FOR TRIBUTARY FIRE STATION #51

EDWARDS ROAD
NASSAU COUNTY

THOMAS DUKE ARCHITECT, PA

2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
FL. LIC. # AA 26001414

STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEER

MCVEIGH & MANGUM ENGINEERING
9250 CYPRESS GREEN DRIVE
JACKSONVILLE, FLORIDA 32256
(904) 737-0701

ARCHITECTURAL

- A-0.1 GENERAL NOTES, ABBREVIATIONS, VICINITY MAP
- A-0.2 CODE SUMMARY AND LIFE SAFETY PLAN
- A-1.0 ARCHITECTURAL SITE PLAN
- A-1.1 FLOOR PLAN
- A-1.2 FURNITURE & EQUIPMENT LAYOUT PLAN
- A-1.3 REFLECTED/CEILING PLAN
- A-1.4 ROOF PLAN
- A-2.0 EXTERIOR ELEVATIONS
- A-2.1 EXTERIOR ELEVATIONS
- A-3.0 BUILDING SECTIONS
- A-3.1 WALL SECTIONS
- A-3.2 WALL SECTIONS
- A-3.3 WALL SECTIONS
- A-3.4 WALL SECTIONS
- A-3.5 WALL SECTIONS
- A-3.6 FIRE RATED ASSEMBLIES
- A-4.0 RESTROOM PLANS, ELEVATIONS, AND DETAILS
- A-4.1 RESTROOM PLANS, ELEVATIONS, AND DETAILS
- A-5.0 MILLWORK PLANS, ELEVATIONS, SECTIONS AND DETAILS
- A-5.1 MILLWORK PLANS, ELEVATIONS, SECTIONS AND DETAILS
- A-6.0 ROOM FINISH AND DOOR SCHEDULES
- A-6.1 DOOR DETAILS

STRUCTURAL

- S-0.1 DESIGN CRITERIA & GENERAL NOTES
- S-1.1 FOUNDATION PLAN
- S-1.2 ROOF FRAMING PLAN
- S-2.1 SECTIONS & DETAILS
- S-2.2 SECTIONS & DETAILS
- S-3.1 SECTIONS & DETAILS
- S-3.2 SECTIONS & DETAILS
- S-3.3 SECTIONS & DETAILS

FIRE PROTECTION

- FP-0.1 LEGEND & GENERAL NOTES
- FP-1.1 FIRE PROTECTION FLOOR PLAN

PLUMBING

- P-0.1 NOTES
- P-0.2 SCHEDULES
- P-1.1 DRAINAGE
- P-1.2 DOMESTIC WATER FLOOR PLAN
- P-2.1 PLUMBING DETAILS
- P-3.1 SANITARY RISER DIAGRAMS
- P-3.2 DOMESTIC RISER DIAGRAMS

MECHANICAL

- M-0.1 NOTES
- M-0.2 SCHEDULES
- M-1.1 HVAC FLOOR PLAN
- M-1.2 MECHANICAL ROOF PLAN
- M-3.1 MECHANICAL DETAILS
- M-4.1 MECHANICAL CONTROLS

ELECTRICAL

- E-0.1 LEGEND & GENERAL NOTES
- E-0.2 NOTES
- E-0.3 RISERS
- E-0.4 PANEL SCHEDULES
- E-1.0 ELECTRICAL SITE PLAN
- E-1.1 LIGHTING PLAN
- E-1.2 POWER PLAN
- E-4.1 DETAILS

TECHNOLOGY

- T-0.1 TECH NOTES
- T-1.1 TECHNOLOGY FLOOR PLAN



12/05/2024
Object No. 502
AWC Project No. 1816

- 04/15/23 REVISION 1
- 09/27/23 REVISION 2
- 12/04/23 REVISION 3

PERMIT SET
RELEASED FOR CONSTRUCTION: JULY 11, 2023

LIST OF APPLICABLE CODES:

FLORIDA BUILDING CODE 7TH EDITION (2020)
 FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
 FLORIDA BUILDING CODE MECHANICAL 7TH EDITION (2020)
 FLORIDA BUILDING CODE PLUMBING 7TH EDITION (2020)
 NATIONAL ELECTRIC CODE (NFPA 70) (2017)
 FLORIDA BUILDING CODE FULL GAS 7TH EDITION (2020)
 FLORIDA EXISTING BUILDING CODE 7TH EDITION (2020)
 FLORIDA ACCESSIBILITY CODE 7TH EDITION (2020)
 FLORIDA BUILDING CODE ENERGY CONSERVATION 7TH EDITION (2020)

NOTE TO PLAN REVIEWERS

1. THIS PROJECT IS FOR A NEW GROUND UP BUILDING OF 8,493 G.S.F. THAT WILL SERVE AS A FIRE STATION AND HOUSE OF APPARATUS BAY, SLEEPING UNITS WITH ACCESSORY DINING AND DAY ROOMS, AND ACCESSORY TRUCKS AREA. TO THE BEST OF OUR KNOWLEDGE, INFORMATION, AND BELIEF, BUILDING IS DESIGNED TO AND COMPLY WITH THE APPLICABLE CODES LISTED ABOVE.

2. PRIMARY ROOF CONSTRUCTION MEETS DEFINITION OF EXHAUSTION. PROVIDE STORAGE PER FBC 90A-40.08(1) INDICATING LIGHT FRAME ROOF TRUSS BAY - SEE LIFE SAFETY PLAN FOR LOCATIONS.



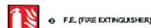
NOTES:

- CONTRACTOR SHALL PROVIDE TACTILE STORAGE PER NFPA 101 7.15.1.3, READING "EXIT" AT ALL EXTERIOR DOORS.
- CONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE DISCONNECT & STORAGE PER NFPA 70 250.2.8 & NFPA 115.1.7.
- ILLUMINATION OF MEANS OF EGRESS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA 101 ELECTION 7.8 AND FBC 1008.4.
- ALL NEW INTERIOR FINISHES SHALL COMPLY WITH NFPA 101 10.2 AND FBC 903.8.04.

LEGEND

- ☉ FIRE EXTINGUISHER
- ☒ FIRE EXTINGUISHER CABINET
- ⌚ 45 MIN. RATED (24 HOUR)
- ⌚ 1 HOUR RATED

FIRE EXTINGUISHERS



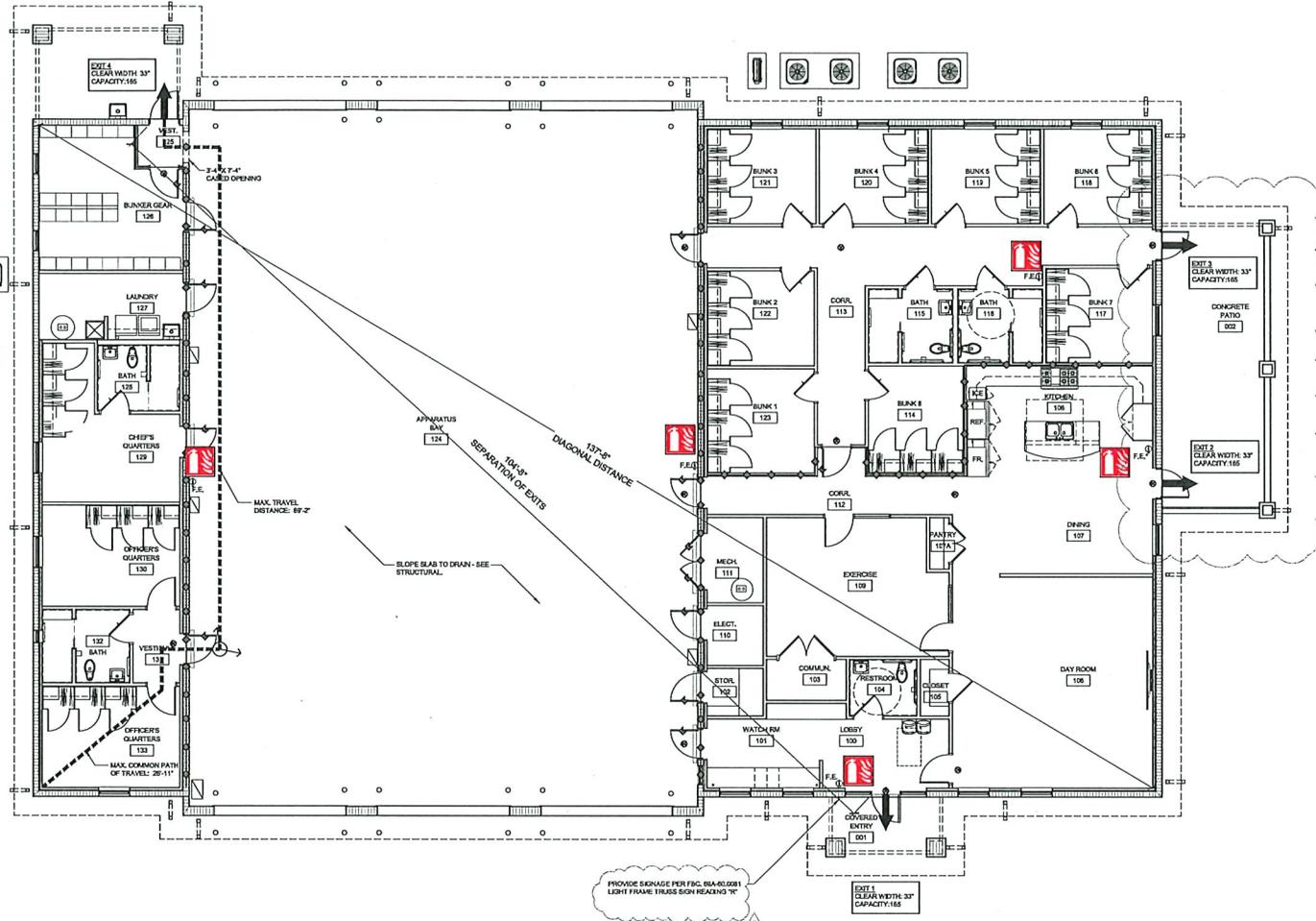
LIGHT HAZARD
 OFFICES, CLASSROOMS, CHURCHES, ASSEMBLY HALLS, HOTEL OR MOTEL GUESTROOMS, ETC.

EXTRA HAZARD
 DRUGS AREA, MERCHANTILE SHOPS AND ALLIED STORAGE, LIGHT MANUFACTURING, RESEARCH OPERATIONS, AUTO SHOWROOMS, PAINTING GARAGES, WAREHOUSE OR SUPPORT SERVICE AREAS OF LIGHT HAZARD OCCUPANCIES AND WAREHOUSES CONTAINING NFPA 13 CLASS I OR CLASS II COMMODITIES.

PORTABLE FIRE EXTINGUISHERS
 MAXIMUM PROTECTED AREA WITH NF 7F

2A-10BC	LIGHT	A = 3,000 SF
2A-10BC-2000	ORDINARY	A = 1,000 SF
3A-40BC-9000	LIGHT	
3A-40BC-4500	ORDINARY	
4A-80BC-11,200	LIGHT	
4A-80BC-6,000	ORDINARY	
4A-80BC-4,000	EXTRA	A = 1,000 SF

2A-K LASSER W-6L2
 WITH NF 7F



LIFE SAFETY PLAN
 SCALE: 3/16" = 1'-0"

CODE SUMMARY - FBC

OCCUPANCY AND CONSTRUCTION TYPE
 OCCUPANCY TYPE: MIXED OCCUPANCY, NON-SEPARATED, PER FBC 609.3
 75-1 RESIDENTIAL, PER FBC 100.2
 75-1 STORAGE (MODERATE HAZARD), PER FBC 311.2
 CONSTRUCTION TYPE: MIXED PER FBC TABLE 601, SPRINKLERED
 TOTAL AREA: 8,493 G.S.F.

OCCUPANT LOAD
 RESIDENTIAL: 3,361 S.F. @ 200 S.F. / OCC. = 16.8
 PARKING GARAGE: 4,000 S.F. @ 200 S.F. / OCC. = 20
 ACCESSORY BUSINESS: 348 S.F. @ 190 S.F. / OCC. = 1.8
 EXERCISE ROOM W/ EQUIPMENT: 200 S.F. @ 80 S.F. / OCC. = 2.5
 LOCKER ROOM: 237 S.F. @ 80 S.F. / OCC. = 2.9
 ACCESSORY STORAGE: 378 S.F. @ 300 S.F. / OCC. = 1.26
 COVERED PORCH: 300 S.F. - OCC. N/A - NOT REQUIRED
 TOTAL OCCUPANT LOAD = 48.78 = 80 OCCUPANTS PER FBC TABLE 1004.1.2

SEPARATION REQUIREMENTS
 NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES, PER 603.1. NONSEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. THE REQUIREMENTS OF THIS CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE. IN ADDITION, THE MOST RESTRICTIVE PROVISIONS OF CHAPTER 8 THAT APPLY TO THE NONSEPARATED OCCUPANCIES SHALL APPLY TO THE TOTAL NONSEPARATED OCCUPANCY AREA.

TRAVEL DISTANCE
EMERGENCY ESCAPE AND RESCUE OPENING NOT REQUIRED.
 FBC 1005.1
 MAXIMUM COMMON PATH OF TRAVEL ALLOWED:
 RESIDENTIAL: 75'-0" PER FBC TABLE 1008.2.1
 STORAGE: 102'-0" PER FBC TABLE 1008.2.1 (ACTUAL) = 26'-11"

MAXIMUM TRAVEL DISTANCE ALLOWED
 RESIDENTIAL: 250'-0" PER FBC TABLE 1012.2
 STORAGE: 400'-0" PER FBC TABLE 1012.2 (ACTUAL) = 89'-2"

MAXIMUM DEAD END CORRIDOR DISTANCE ALLOWED
 RESIDENTIAL: 90'-0" PER FBC TABLE 1012.4
 STORAGE: 80'-0" PER FBC TABLE 1012.4 (ACTUAL) = 9'-2"

EXITS
 EXIT UNITS REQ'D = 60 X 2' = 12' (24 MIN)
 2 EXITS REQUIRED PER FBC TABLE 1008.2.1
 PROVIDED 4 EXITS = 132' TOTAL EXIT UNITS

MINIMUM SEPARATION BETWEEN EXITS = 10 MAX. DIAGONAL DISTANCE PER FBC 1007.1.1

MINIMUM SEPARATION REQUIRED: 1/3 X 137'-0" = 45'-11" (ACTUAL) = 154'-0"

MIN. PLUMBING FACILITIES REQ'D.
 RESIDENTIAL: 17 OCC. - 8 FEMALES / 9 MALES
 W.C. - REQ'D - 1 PER 10
 2 REQ'D / PROVIDED
 LAV. - REQ'D - 1 PER 10
 2 REQ'D / PROVIDED
 BATH / SHOWER - 1 PER 8
 2 REQ'D / PROVIDED
 STORAGE: 10 OCC. - 10 FEMALES / 10 MALES
 W.C. - REQ'D - 1 PER 100
 1 REQ'D / PROVIDED
 LAV. - REQ'D - 1 PER 100
 1 REQ'D / PROVIDED
 D.F. - 1 REQ'D - PROVIDED: 1
 SERVICE SINK - 1 REQ'D - PROVIDED: 1 PER FBC PLUMBING TABLE 403.1

CODE SUMMARY - NFPA

OCCUPANCY AND CONSTRUCTION TYPE
 OCCUPANCY TYPE: MIXED (MULTIPLE OCCUPANCY), PER NFPA 6.1.1.4.3
 RESIDENTIAL - LODGING OR ROOMING HOUSE, PER NFPA 101 6.1.1.2
 STORAGE (ORDINARY HAZARD), PER NFPA 101 6.2.2.3

CONSTRUCTION TYPE:
 ROOF: PER NFPA 220 4.4, SPRINKLERED
 TOTAL AREA: 8,493 G.S.F.

OCCUPANT LOAD
 RESIDENTIAL: 3,361 S.F. @ 200 S.F. / OCC. = 16.8
 PARKING GARAGE: 4,000 S.F. @ 200 S.F. / OCC. = 20
 ACCESSORY BUSINESS: 348 S.F. @ 190 S.F. / OCC. = 1.8
 EXERCISE ROOM W/ EQUIPMENT: 200 S.F. @ 80 S.F. / OCC. = 2.5
 LOCKER ROOM: 237 S.F. @ 80 S.F. / OCC. = 2.9
 ACCESSORY STORAGE: 378 S.F. @ 300 S.F. / OCC. = 1.26
 COVERED PORCH: 300 S.F. - OCC. N/A - NOT REQUIRED
 TOTAL OCCUPANT LOAD = 48.78 = 80 OCCUPANTS PER FBC TABLE 1004.1.2

SEPARATION REQUIREMENTS
 NO SEPARATION IS REQUIRED BETWEEN MIXED OCCUPANCIES. 6.1.4.3.2 THE BUILDING SHALL COMPLY WITH THE MOST RESTRICTIVE REQUIREMENTS OF THE OCCUPANCIES INVOLVED, UNLESS SEPARATE SAFEGUARDS ARE APPROVED.

TRAVEL DISTANCE
 SECONDARY MEANS OF ESCAPE NOT REQUIRED FROM DWELLING UNITS, PER NFPA 101 28.2.1.2 & 3.4.2.1.2
 MIXED OCCUPANCY BUSINESS & STORAGE, SPRINKLERED
 MAXIMUM COMMON PATH OF TRAVEL ALLOWED:
 STORAGE: 102'-0" PER NFPA 101 TABLE 42.2.5
 RESIDENTIAL: 75'-0" PER FBC TABLE 1002.1
 NO REQUIREMENT PER NFPA 101 TABLE A7.8 (ACTUAL) = 26'-11"

MAXIMUM TRAVEL DISTANCE ALLOWED
 STORAGE: 400'-0" PER NFPA 101 TABLE 422.8
 RESIDENTIAL: 100'-0" PER NFPA 101 TABLE 42.2.5
 NO REQUIREMENT PER NFPA 101 TABLE A7.8 (ACTUAL) = 89'-2"

MAXIMUM DEAD END CORRIDOR DISTANCE ALLOWED
 STORAGE: 100'-0" PER NFPA 101 TABLE 422.5
 RESIDENTIAL: 90'-0" PER FBC 1002.4
 NO REQUIREMENT PER NFPA 101 TABLE A7.8 (ACTUAL) = 0"

EXITS
 EXIT UNITS REQ'D = 60 X 2' = 12' (24 MIN)
 2 EXITS REQUIRED PER NFPA 101 7.4.1.1
 PROVIDED 4 EXITS = 132' TOTAL EXIT UNITS

MIN. SEPARATION BETWEEN EXITS (ACTUAL) = 104'-0"
 1/10 MAX. DIAGONAL DISTANCE PER NFPA 101 7.4.2
 MIN. SEPARATION REQ'D: 1/3 X 137'-0" = 45'-11"

REVISIONS

NO.	DATE	NOTES
04/18/23		ADDED KNOCK BOX AND FIRE CODE SIGN - PER FBC 90A.02.001
08/27/23		ADDED PORCH - ADDED DETAILS (UNCHECKED MISLABELED ITEMS)

THOMAS DUKE ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. #AA 260014H

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
 EDWARDS ROAD
 NASSAU COUNTY

PERMIT ISSUE: 03/27/2023

RELEASED FOR CONSTRUCTION
 DATE: 04 DECEMBER 2023

CODE SUMMARY AND LIFE SAFETY PLAN

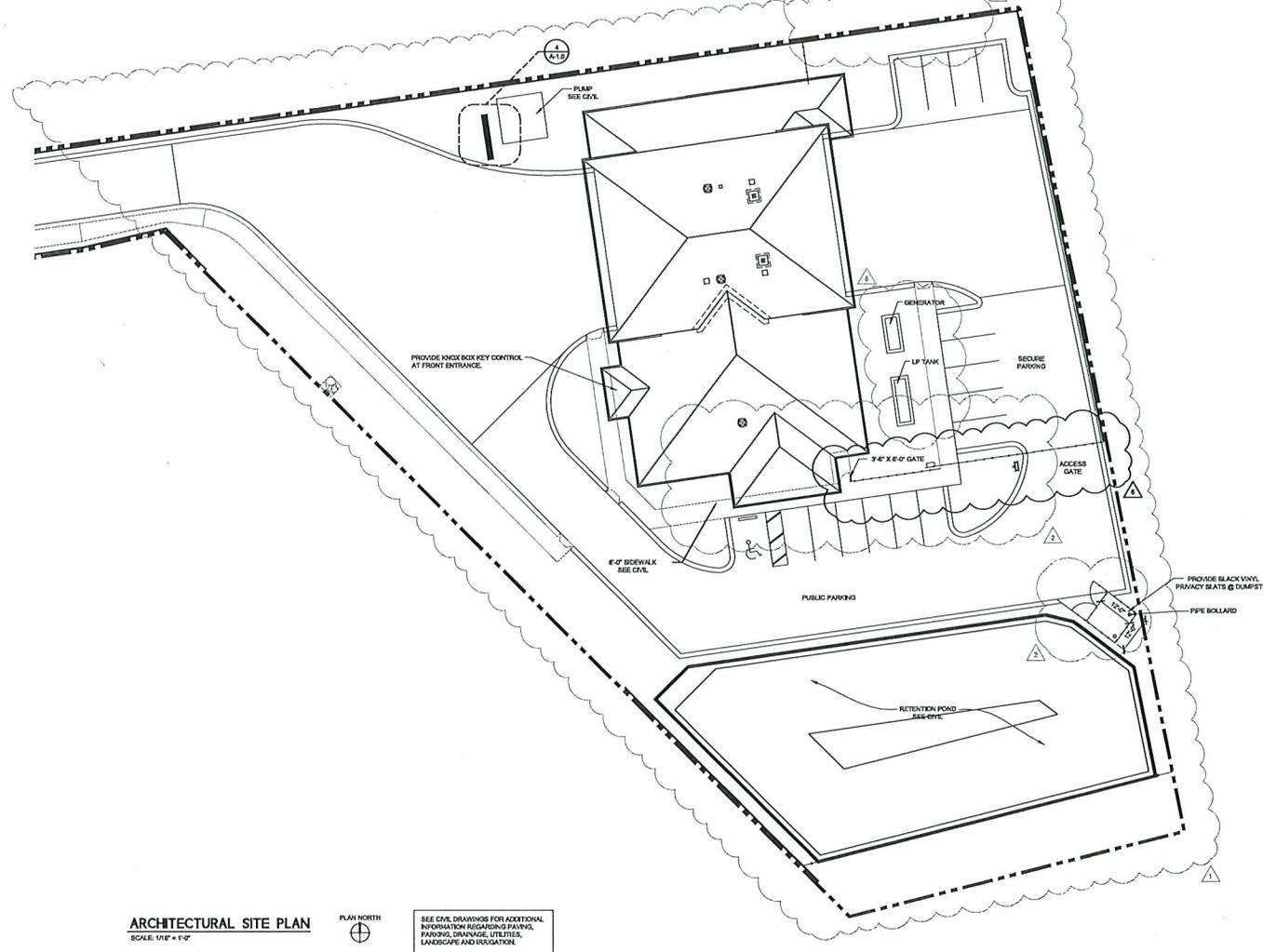
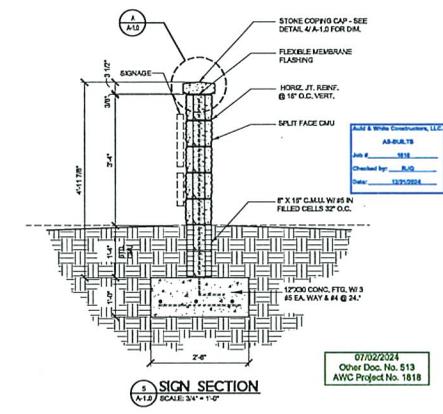
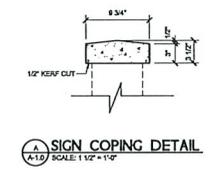
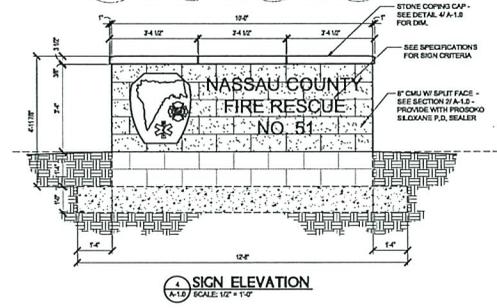
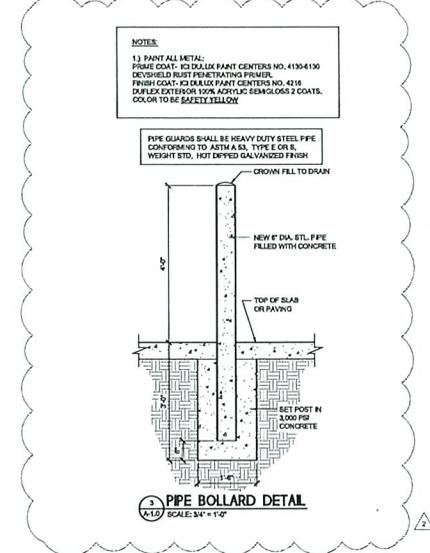
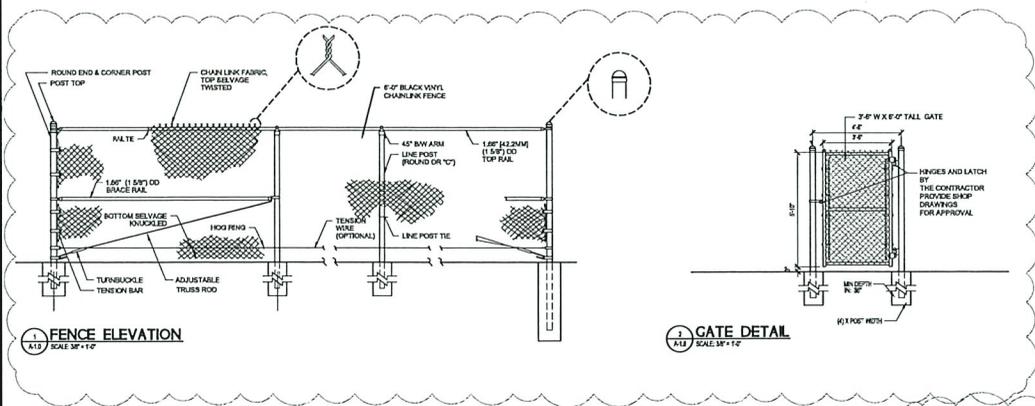
DRAWN BY: BTJ/MP CHECKED BY: TED
 PROJECT NO. 3722

SHEET
A-0.2

Andi & White Construction, LLC
 AR-04-175
 Job No. 318
 Checked by: BTJ
 Date: 08/28/2024

12/05/2024
 AWC Project No. 1818

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ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING PAVING, PARKING, DRAINAGE, UTILITIES, LANDSCAPE AND IRRIGATION.

REVISIONS		
NO.	DATE	NOTES
▲	04/19/23	REVISED ARCH SITE PLAN
▲	06/27/23	ADDED PORCH - ADDED DETAILS
▲	03/29/24	UPDATED MISLABELED ITEMS
▲	04/16/24	ADDED GENERATOR AND LP TANK LOCATIONS
▲	04/16/24	MOVED GENERATOR AND LP TANK LOCATIONS
▲	07/15/24	REVISED GATE

THOMAS DUKE ARCHITECT, P.A.
1505 DENNIS STREET, SUITE 400
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY

PERMIT ISSUE: 01-27-2023

RELEASED FOR CONSTRUCTION
DATE: 27 JANUARY 2023

ARCHITECTURAL SITE PLAN

DRAWN BY: LJP CHECKED BY: TED
PROJECT NO. 3722

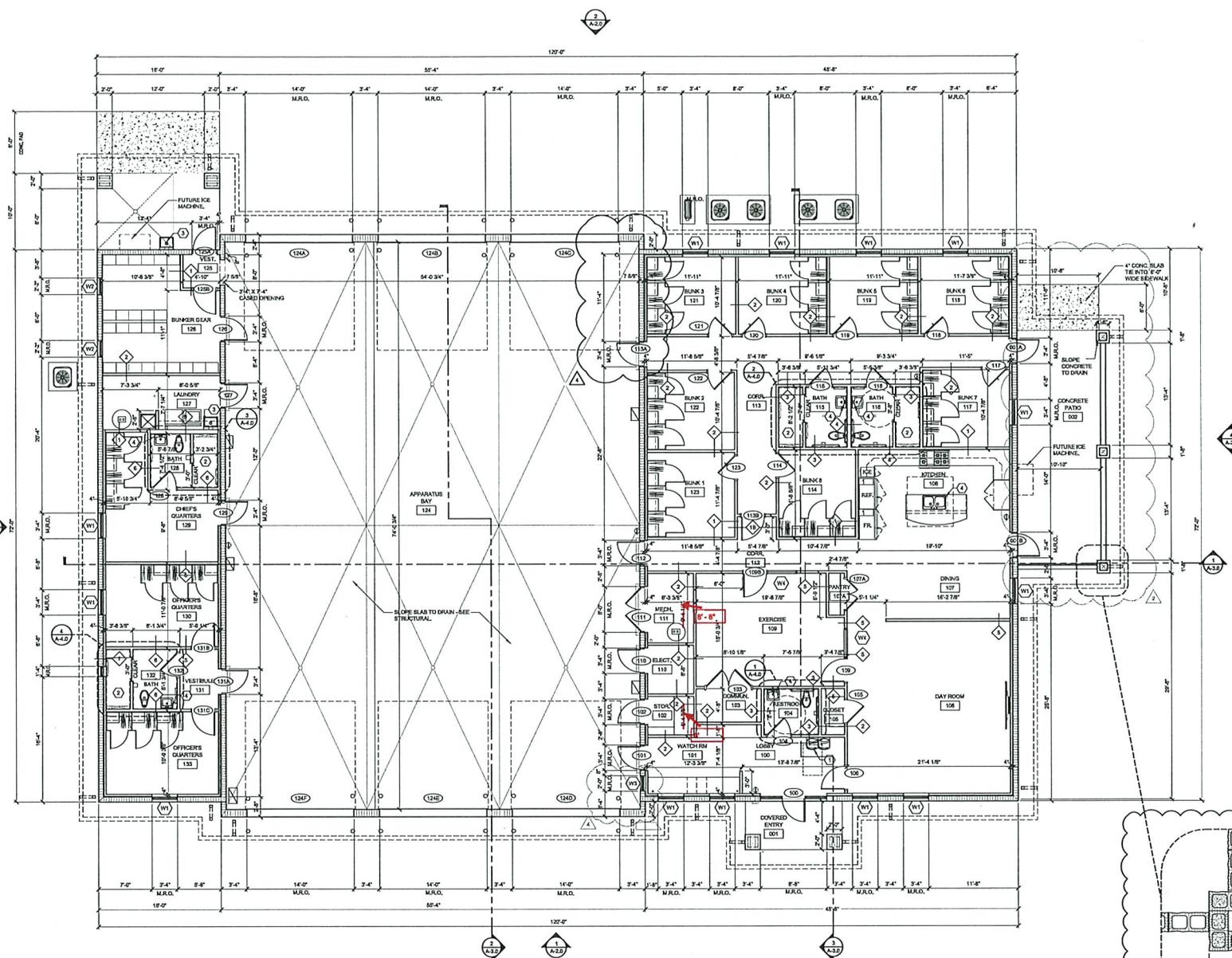
SHEET
A-1.0

07/02/2024
Other Doc. No. 513
AWC Project No. 1818

REVISIONS		
NO	DATE	NOTES
1	06/27/23	ADDED PORCH - ADDED DETAILS
2	06/27/23	UPDATED MISLABELED ITEMS
3	03/25/24	REVISED DIMENSION STRINGS, ADDED WINDOW M.A.O.
4	04/18/24	REVISED COLUMN DETAIL

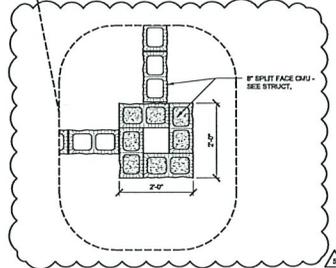
THOMAS DUKE
 ARCHITECT, P.A.
 1605 DENNIS STREET, SUITE 400
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3336
 LIC. #AA 2600414

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- KEY NOTES**
- 1 DRINKING FOUNTAIN - SEE PLUMBING DWGS
 - 2 ADA SHOWER - SEE RESTROOM SHEETS FOR DETAILS
 - 3 SERVICE SINK - SEE PLUMBING DWGS
 - 4 HAND SINK - SEE PLUMBING DWGS
- WALL TYPES LEGEND:**
- ◇ REFER TO SHEET A-3.5 DETAIL : 1 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 1B FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 2 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 3 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 4 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 5 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 6 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.5 DETAIL : 7 FOR WALL TYPE DETAILS.
 - ◇ REFER TO SHEET A-3.6 DETAIL : 1 FOR WALL TYPE DETAILS.

GENERAL NOTES:
 DOORS 8" FROM FACE OF WALL OR CENTERED AS SHOWN, UNLESS NOTED OTHERWISE.
 DIMENSIONS ARE TO FACE OF STUDS, UNLESS NOTED OTHERWISE.



THOMAS DUKE ARCHITECT, P.A.
 Job # 1818
 Drawn by: T.D.
 Date: 12/21/2024
 04/18/2024
 Other Doc. No. 611
 AWC Project No. 1818

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
 EDWARDS ROAD
 NASSAU COUNTY



RELEASED FOR CONSTRUCTION
 DATE: 27 JANUARY 2023

FLOOR PLAN

DRAWN BY: TDP CHECKED BY: TED
 PROJECT NO. 3722

SHEET
A-1.1

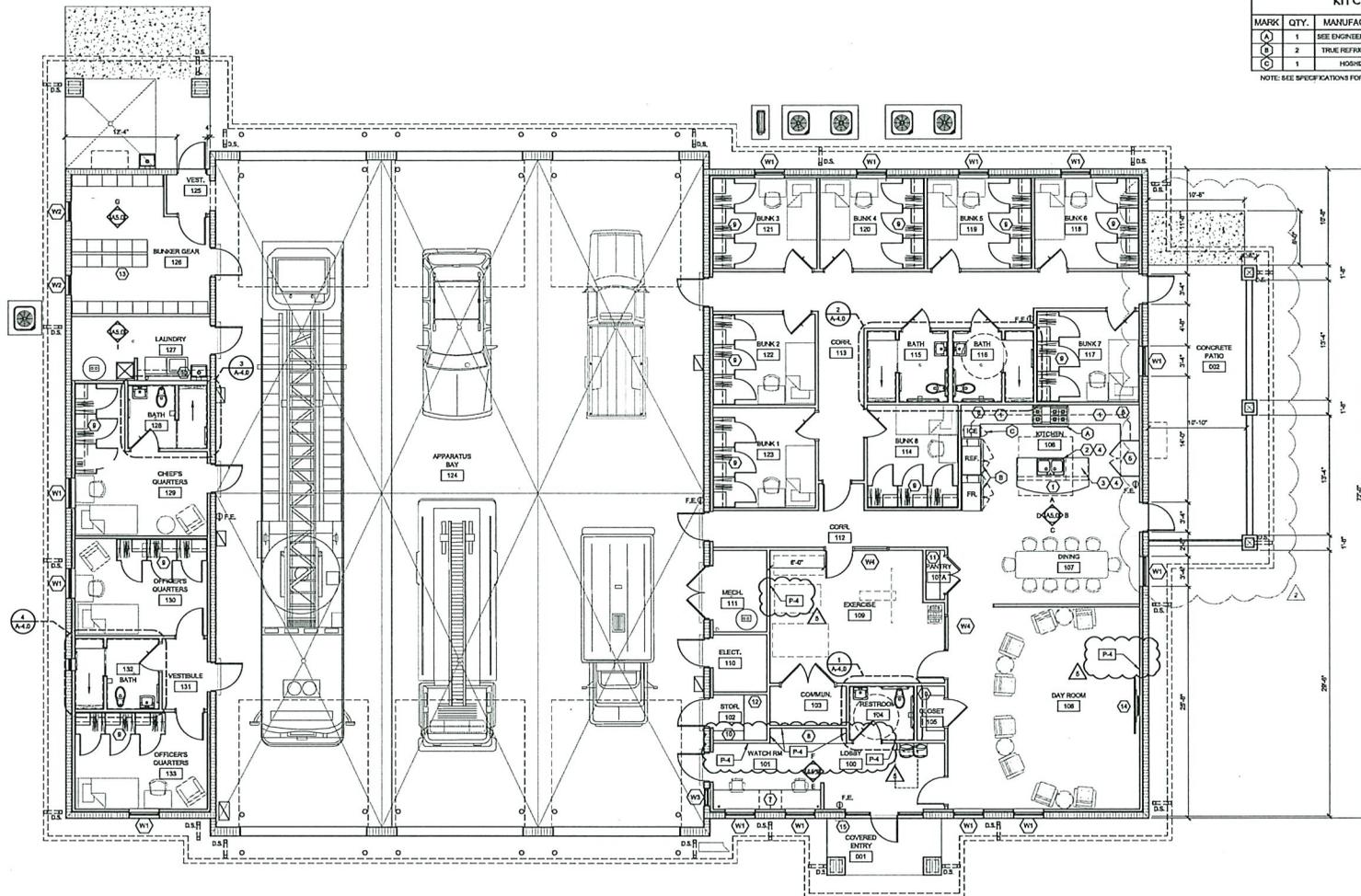
FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 PLAN NORTH

REVISIONS

NO.	DATE	NOTES
1	06/27/23	ADDED PORCH - ADDED DETAILS & UPDATED MISLABELED ITEMS
2	04/18/24	ADDED ACCENT WALL LOCATIONS

THOMAS DUKE
ARCHITECT, P.A.
1505 DENNIS STREET, SUITE 400
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
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KITCHEN EQUIPMENT SCHEDULE

MARK	QTY.	MANUFACTURER	MODEL	REMARKS
(A)	1	SEE ENGINEERING DIVISION	-	48" GAS RANGE - 4 BURNERS
(B)	2	TRINE REFRIGERATION	TR-4555-B	48" SIDE BY SIDE REFRIGERATOR / FREEZER
(C)	1	HOSHIZAKI	C-1018AHAD/20	SELF CONTAINED COMBINEET ICE MACHINE

NOTE: SEE SPECIFICATIONS FOR REQUIREMENTS

- MILLWORK KEY NOTES**
- 36" HIGH COUNTERTOP W/ STANDARD BASE CABINETS BELOW
 - 36" HIGH COUNTERTOP (W/ 2" SPACER) W/ STANDARD BASE CABINETS BELOW
 - 34" HIGH ADA KITCHEN WORK SPACE (36" WIDE) W/ PLASTIC LAMINATE PER FLORIDA ACCESSIBILITY CODE 604.2.2 - PROVIDE 2" HIGH REMOVABLE CLIPPING BOARD ABOVE - FINISH TO MATCH COUNTERTOP
 - PROVIDE ADA COMPLIANT BASE CABINET DOORS BELOW FOR PAISE AND THE CLEARANCE PER FLORIDA ACCESSIBILITY CODE 306 - SEE SECTION A1-A-1.1
 - FULL HEIGHT PANTRY WITH ADJUSTABLE SHELVING
 - STANDARD WALL CABINETS ABOVE
 - 34" H COUNTERTOP W/ 3 DRAWER SPACE AND 3 DRAWER CABINETS AS SHOWN BELOW - PROVIDE 2" CROCKETS AS REQUIRED.
 - 36" H COUNTERTOP W/ 3 DRAWER CABINETS BELOW & WALL MOUNTED WHITEBOARD ABOVE (PROVIDE BLOCKING AS REQ'D)
 - 12'-0" W X 2'-0" D X 8'-0" H CLOTHING CLOSETS - PROVIDE CLOTHING HANGER RODS AND ADJUSTABLE SHELVING - SEE SPECIFICATIONS
 - 1'-0" D SHELVING - PROVIDE HEAVY DUTY STANDARDS & BRACKETS W/ BRACING AS REQ'D (TYP.)
 - 1'-0" D SHELVING - PROVIDE HEAVY DUTY STANDARDS & BRACKETS W/ BRACING AS REQ'D (TYP.)
 - 2'-0" D SHELVING - PROVIDE HEAVY DUTY STANDARDS & BRACKETS W/ BRACING AS REQ'D (TYP.)
 - BUNKER GEAR STORAGE - SEE ELEVATION A1-A.2 FOR TYP. FORMAT - SEE SPECIFICATIONS FOR REQUIREMENTS
 - WALL MOUNTED T.V. OUTLET LOCATIONS TO BE VERIFIED BY OWNER AND G.L.C.
 - WALL MOUNTED KNOX BOX KEY CONTROL BOX

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 27 JANUARY 2023

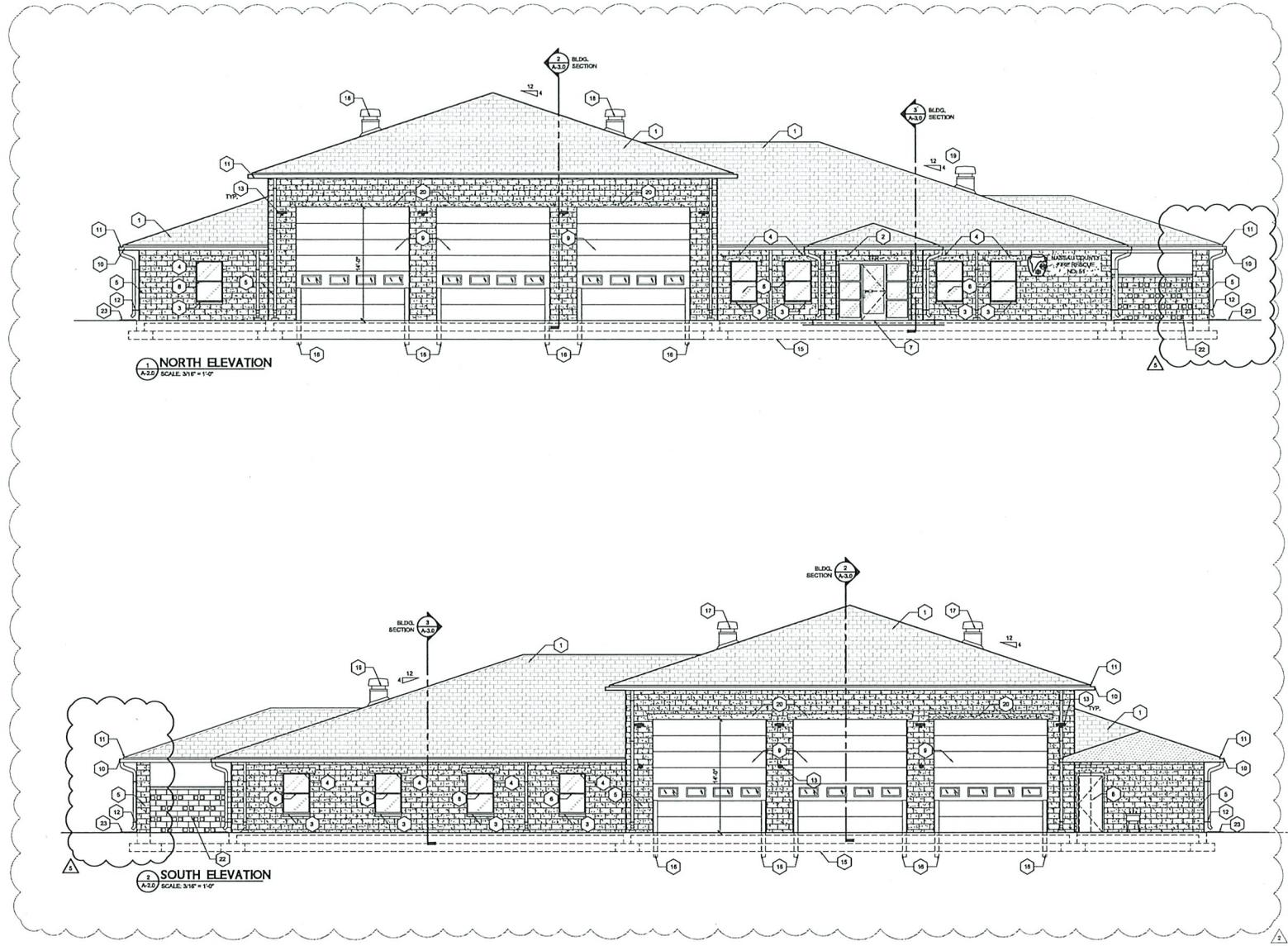
FURNITURE AND EQUIPMENT LAYOUT PLAN

DRAWN BY: LJP CHECKED BY: TED
PROJECT NO. 3722

SHEET
A-1.2

FILE & PLOT CONTROLS, L.L.C.
AS-BUILTS
Job # 1811
Checked by LJP
Date 04/18/2024
Other Doc. No. 511
AWG Project No. 1818

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- KEY NOTES:**
- ① ASPHALT ARCHITECTURAL BRICKLES - COLOR EQUIV. TO OWENS CORNING OWYS BLOCK
 - ② 12\"/>

NO.	DATE	NOTES
002723		ADDED PORCH - ADDED DETAILS
041824		REVISED COLUMNS

THOMAS DUKE ARCHITECT, P.A.
 3509 DENNIS STREET, SUITE 400
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
 EDWARDS ROAD
 NASSAU COUNTY



RELEASED FOR CONSTRUCTION
 DATE: 27 JANUARY 2023

EXTERIOR ELEVATIONS

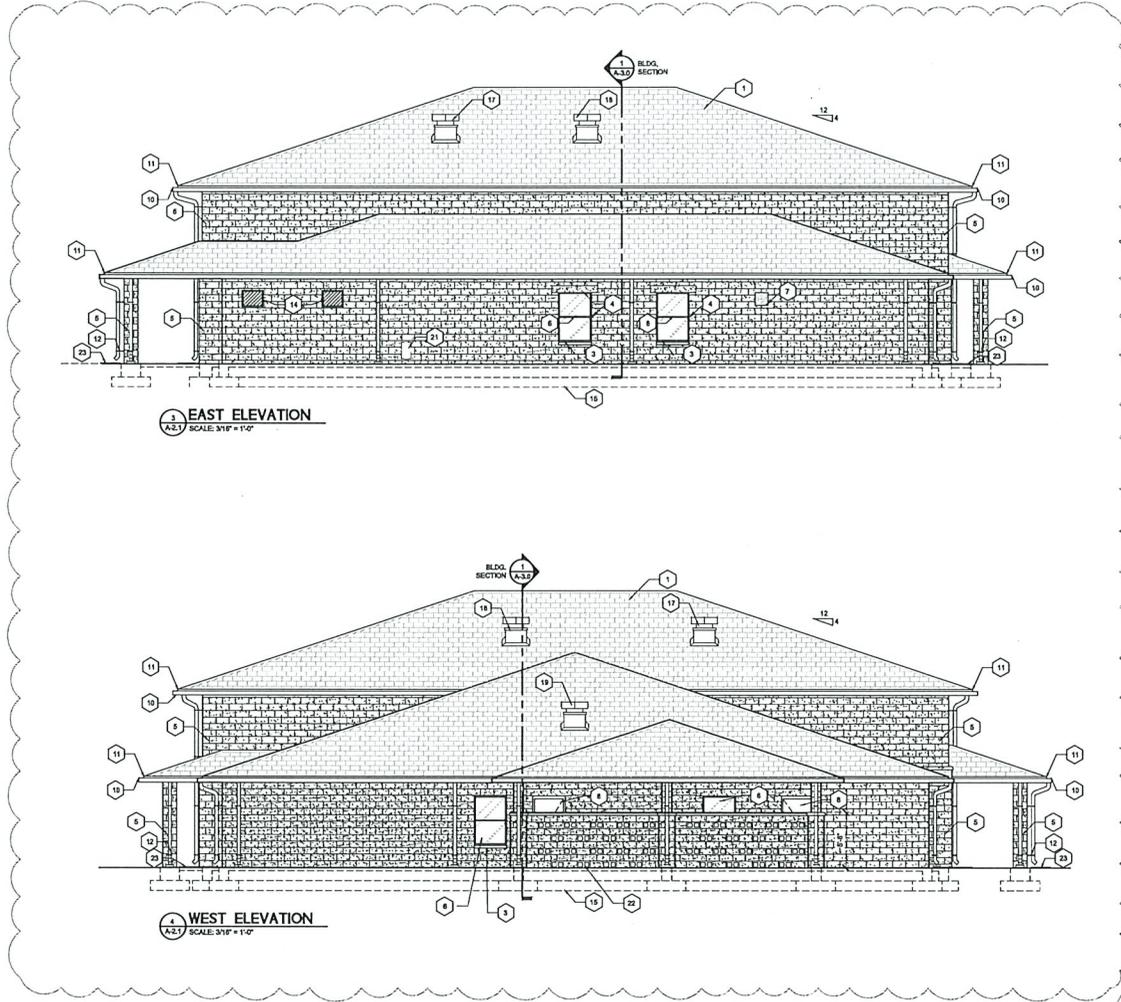
DRAWN BY: LNP CHECKED BY: TED
 PROJECT NO. 3722

SHEET

A-2.0

Paul & Wendi Conover, LLC
 ARCHITECTS
 Job # 1818
 Checked by: LNP
 Date: 1/10/2024
 04/18/2024
 Other Doc. No. 511
 AWC Project No. 1818

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- KEY NOTES**
- ① ASPHALT ARCHITECTURAL SHINGLES - COLOR SOLY, TO OWENS CORNING DRYV BLOCK
 - ② 12" X 8" X 8" CONCRETE LINTEL BLOCK
 - ③ PRECAST SILL
 - ④ 4" X 8" X 8" CONCRETE LINTEL BLOCK
 - ⑤ 8" X 8" X 18" INCH GAUT FACED CMU
 - ⑥ VINYL WINDOW UNITS - SEE WINDOW SCHEDULE AND DETAILS
 - ⑦ 1" X 1" X 1/4" - GLASS BLOCK
 - ⑧ HALL DOOR & FRAME - SEE DOOR SCHEDULE
 - ⑨ SECTIONAL OVERHEAD DOOR - SEE DOOR SCHEDULE
 - ⑩ P.T. WOOD FASCIA AND TRIM
 - ⑪ METAL GUTTER - SEE ROOF PLAN
 - ⑫ METAL DOWNSPOUT - SEE ROOF PLAN
 - ⑬ EXTERIOR LIGHTS - SEE ELECT. DWGS
 - ⑭ EXHAUST WALL VENT - SEE MECH. DWGS
 - ⑮ CONCRETE FTG. BEYOND - SHOWN DASHED - SEE WALL SECTIONS AND STRUCT. DWGS.
 - ⑯ STEEL PIPE HOLLANDS - SEE DETAIL 'A'
 - ⑰ ROOF AIR SUPPLY FAN - SEE MECH. DWGS
 - ⑱ ROOF EXHAUST FAN - SEE MECH. DWGS
 - ⑲ ROOF SYSTEM - SEE MECH. DWGS
 - ⑳ 12" X 8" X 8" CONCRETE LINTEL BLOCK
 - ㉑ TANKLESS PROPANE WATER HEATER - SEE MECH. DWGS
 - ㉒ VOIDS IN CMU - VOID SIZE TO MATCH CMU BLOCK SIZE
 - ㉓ NEW CONCRETE SPLASH BLOCK - SEE ROOF PLAN

REVISIONS		
NO.	DATE	NOTES
Δ	06/27/23	ADDED PORCH - ADDED DETAILS UPDATED MISLABELED ITEMS

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001514

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

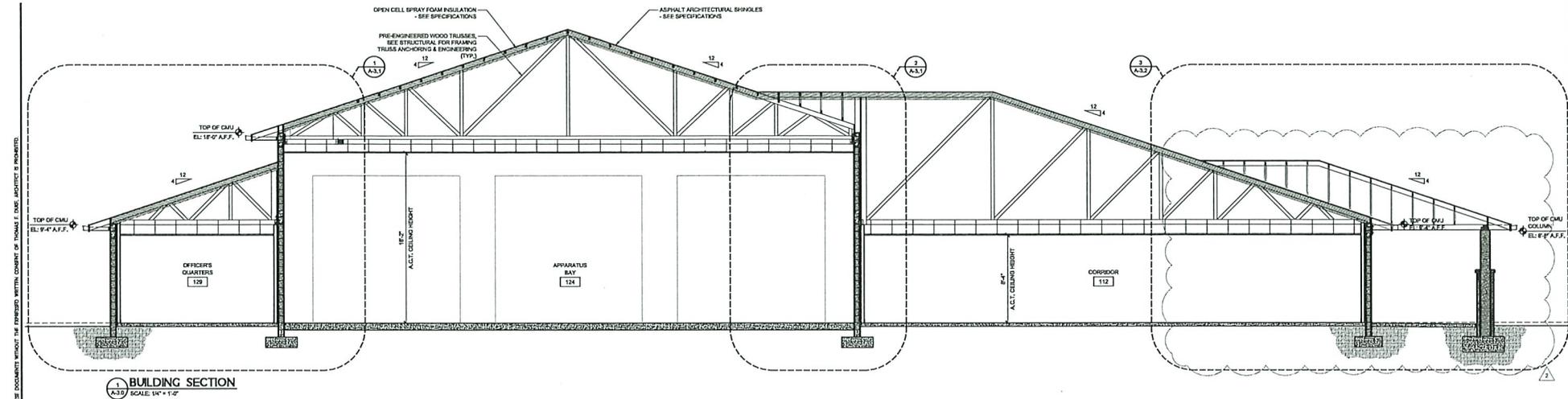
EXTERIOR
ELEVATIONS

DRAWN BY: BT/ANP CHECKED BY: TED
PROJECT NO. 3722

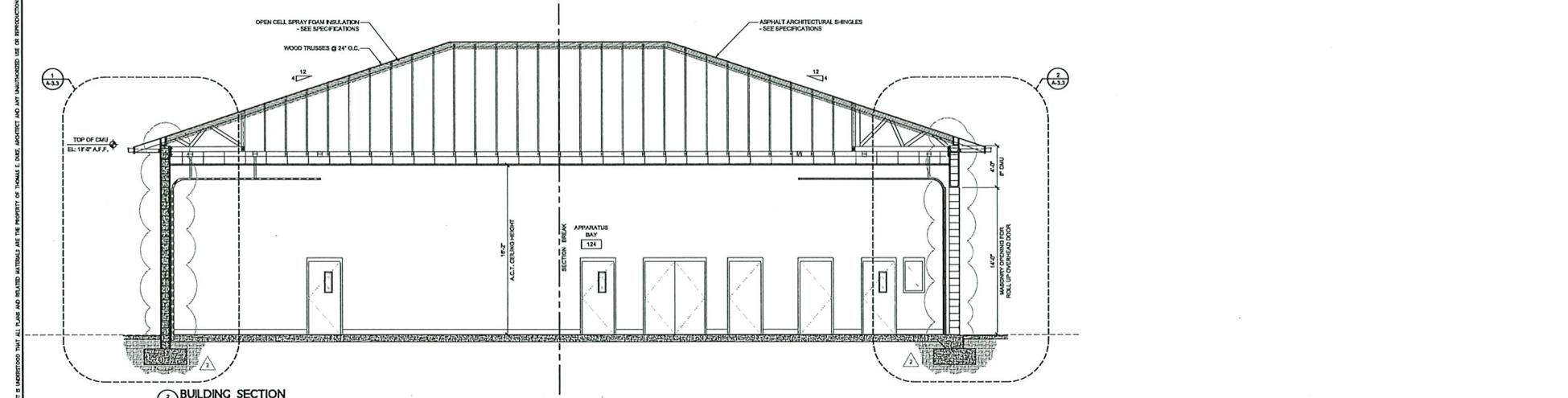
SHEET

A-2.1

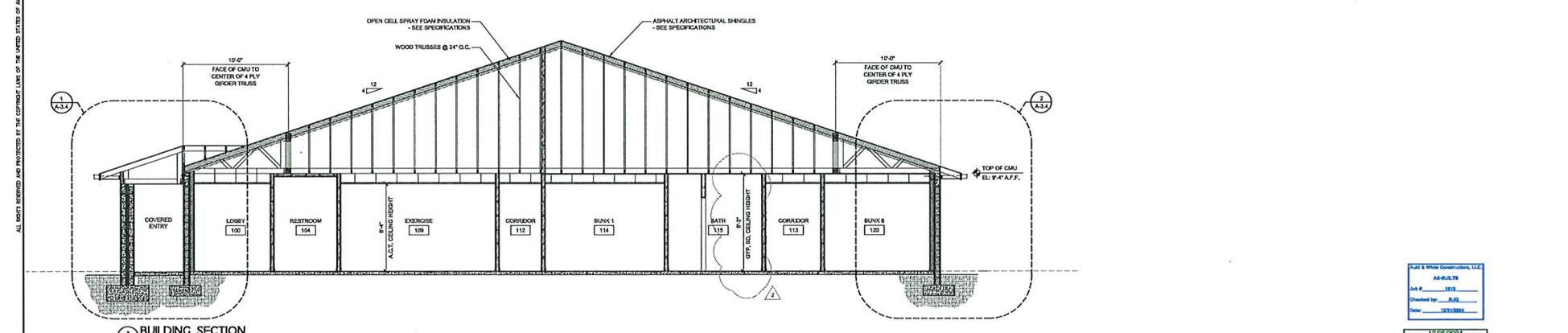
Asst & White Construction, LLC
JOB # 1818
Checked by: BT/ANP
Date: 12/01/2024
12/09/2024
Office Doc. No. 502
AWC Project No. 1818



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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REVISIONS		
NO.	DATE	NOTES
1	06/27/23	ADDED PORCH - ACCORD DETAIL & UPDATED MISLABELED ITEMS

THOMAS DUKE ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

BUILDING SECTIONS

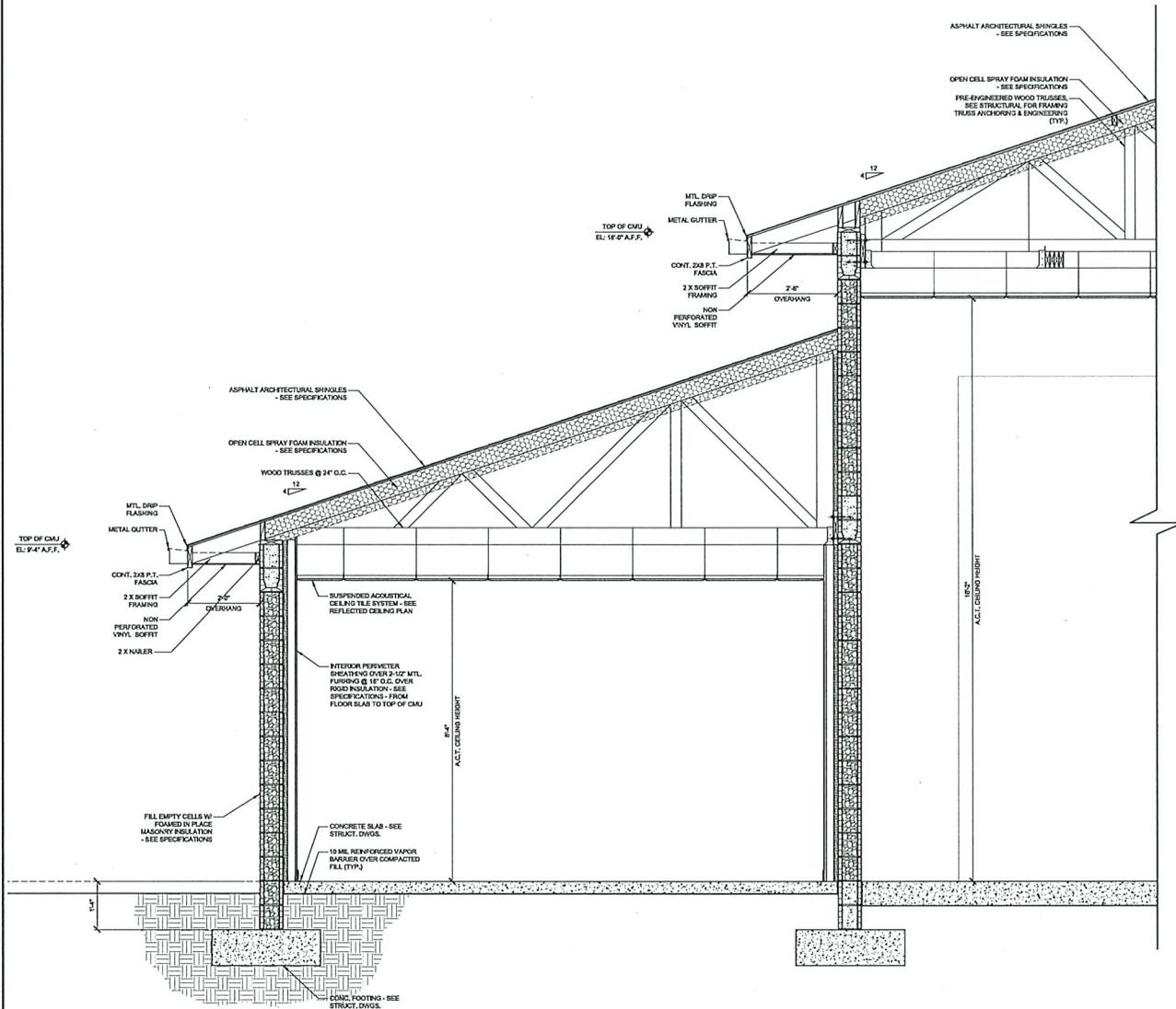
DRAWN BY: BT/ALP CHECKED BY: TED
PROJECT NO. 3772

SHEET

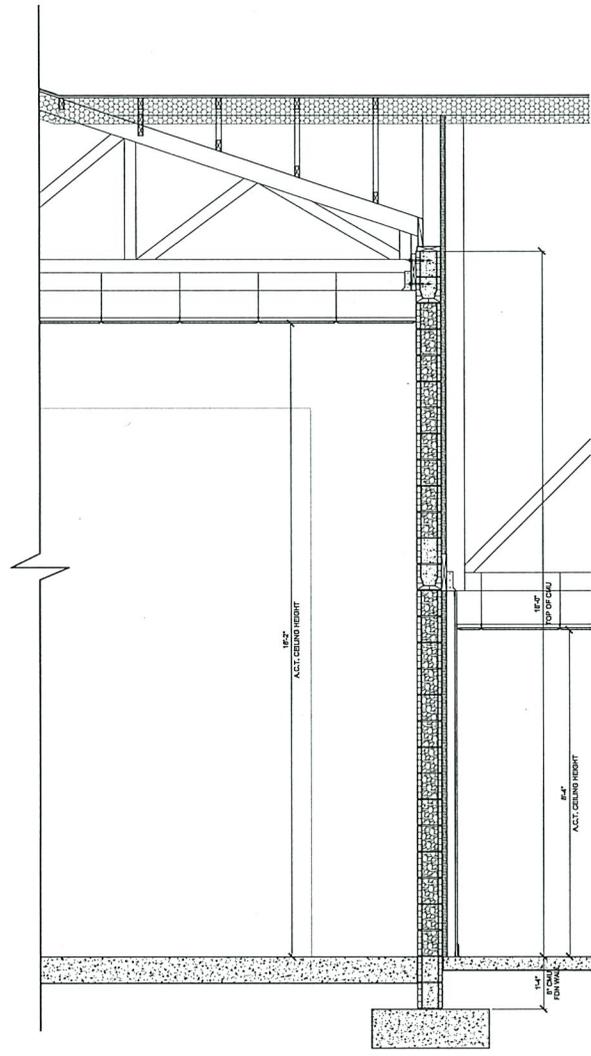
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Clair & White Construction, LLC
AS-BUILT
Checked by: JLS
Date: 12/01/2024
12/02/2024
Other Doc. No. 552
AWC Project No. 1818

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SECTION 1 SCALE: 3/4" = 1'-0"



SECTION 2 SCALE: 3/4" = 1'-0"

REVISIONS		
NO.	DATE	NOTES

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

WALL SECTIONS

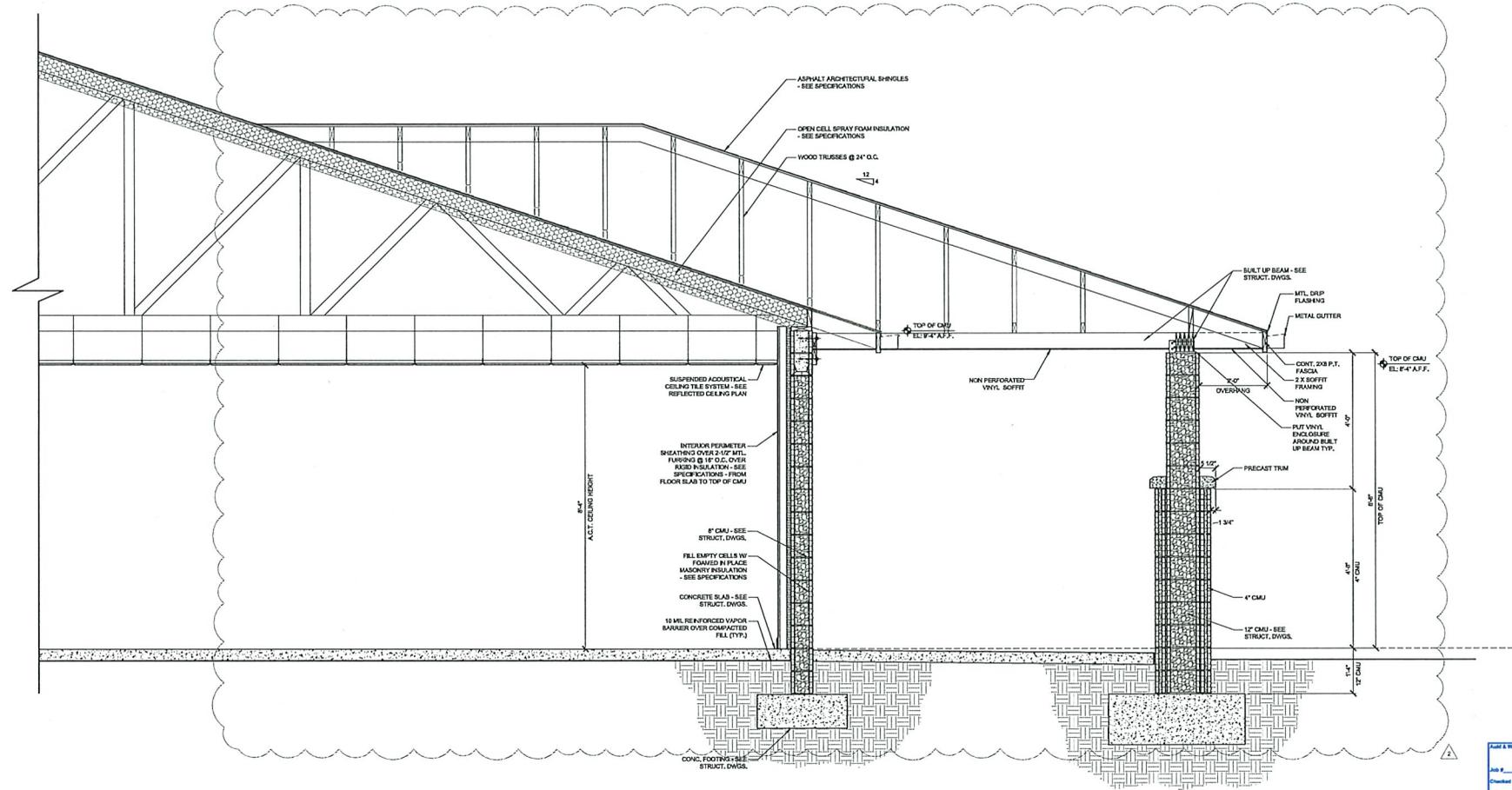
DRAWN BY: BT/UP CHECKED BY: TED
PROJECT NO. 3722

SHEET

A-3.1

Arch & White Constructors, LLC
JOB # 1818
Checked by: BT,UP
Date: 12/13/2024
12/05/2024
Other Doc. No. 602
AWC Project No. 1818

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SECTION
SCALE: 3/4" = 1'-0"

12/09/2023
Other Doc. No. 503
AWC Project No. 1818

REVISIONS		
NO.	DATE	NOTES
1	06/27/23	ADDED PORCH - ADDED DETAILS UPDATED MISLABELED ITEMS

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

WALL SECTIONS

DRAWN BY: BT/ANP CHECKED BY: TED
PROJECT NO. 3722
SHEET

A-3.2

REVISIONS		
NO.	DATE	NOTES
1	06/27/23	ADDED PERCH - ASSESS DETAILS UPDATED MISLABELED ITEMS

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3336
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



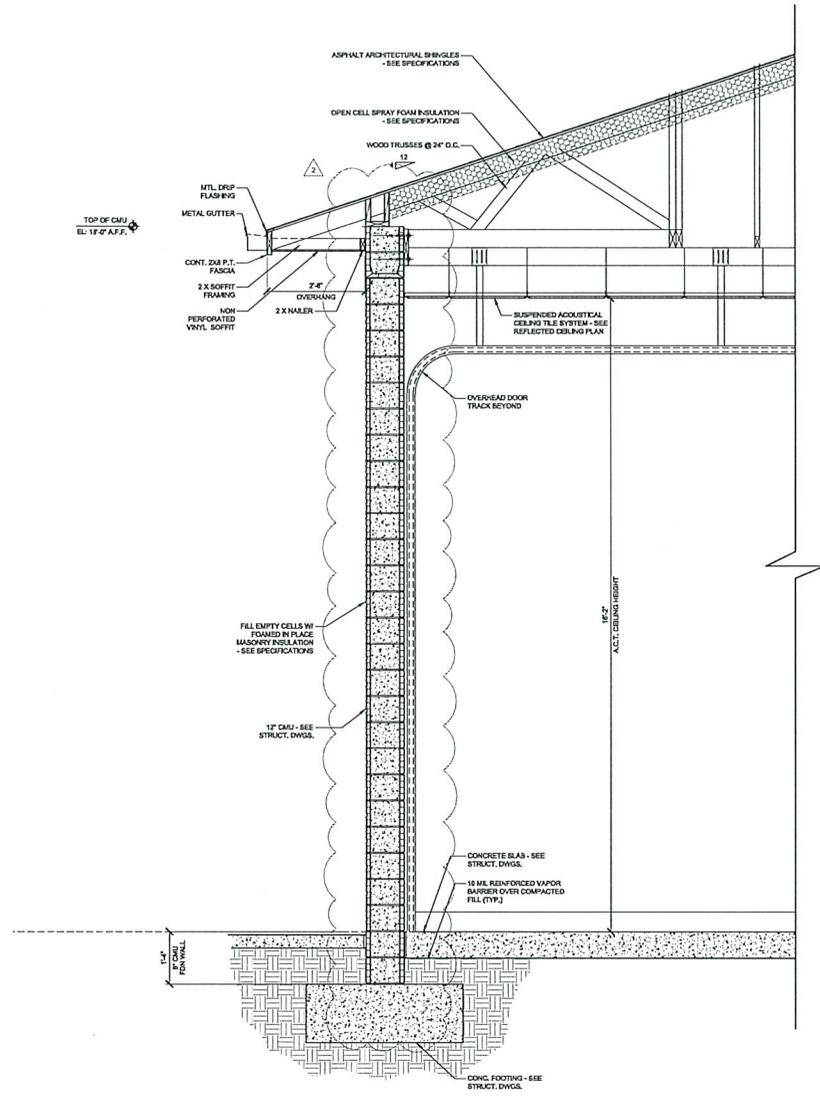
RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

WALL SECTIONS

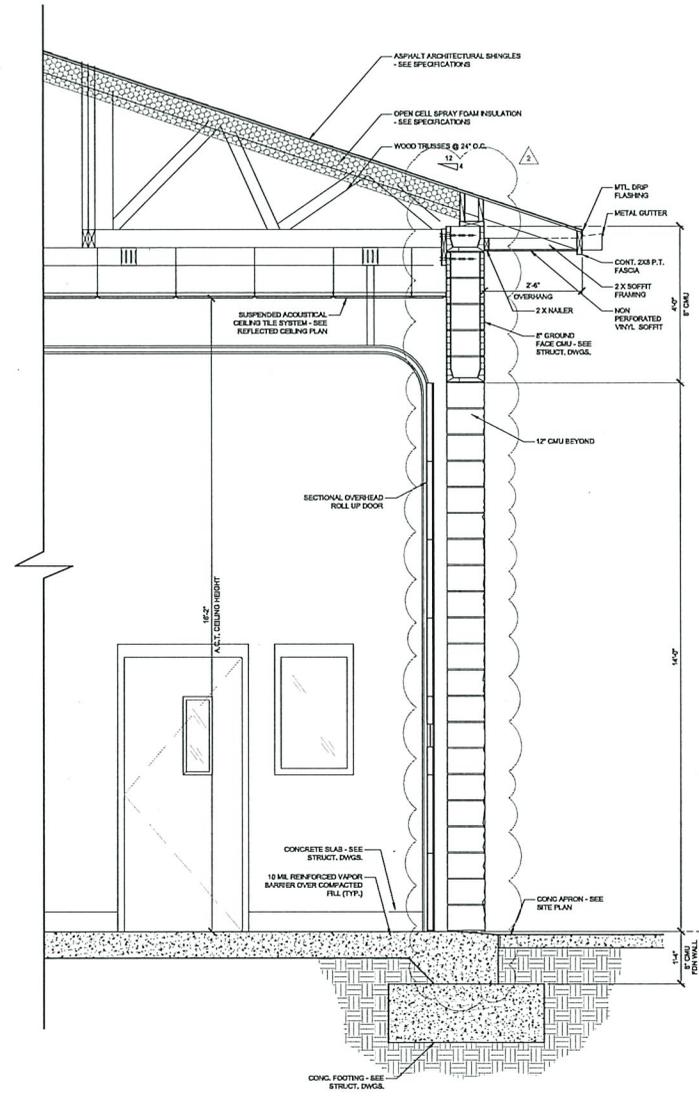
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PROJECT NO. 3772

SHEET
A-3.3

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SECTION 1
SCALE: 3/4" = 1'-0"



SECTION 2
SCALE: 3/4" = 1'-0"

Lead & Stone Construction, LLC
ARCHITECTS
JOB # 3772
Checked by: BT/ALP
Date: 12/15/2024

12/05/2024
Other Doc No: 502
AWC Project No. 1818

REVISIONS		
NO.	DATE	NOTES
1	06/27/23	ADDED PORCH - ADDED DETAILS UPDATED MISLABELED ITEMS

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001614

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



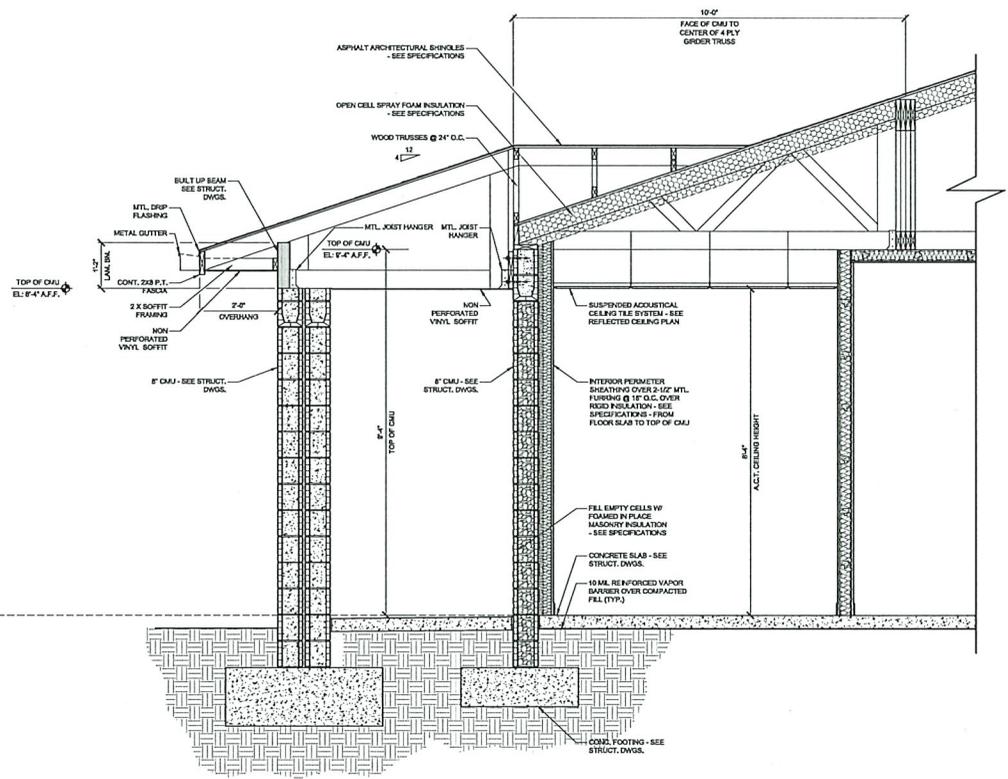
RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

WALL SECTIONS

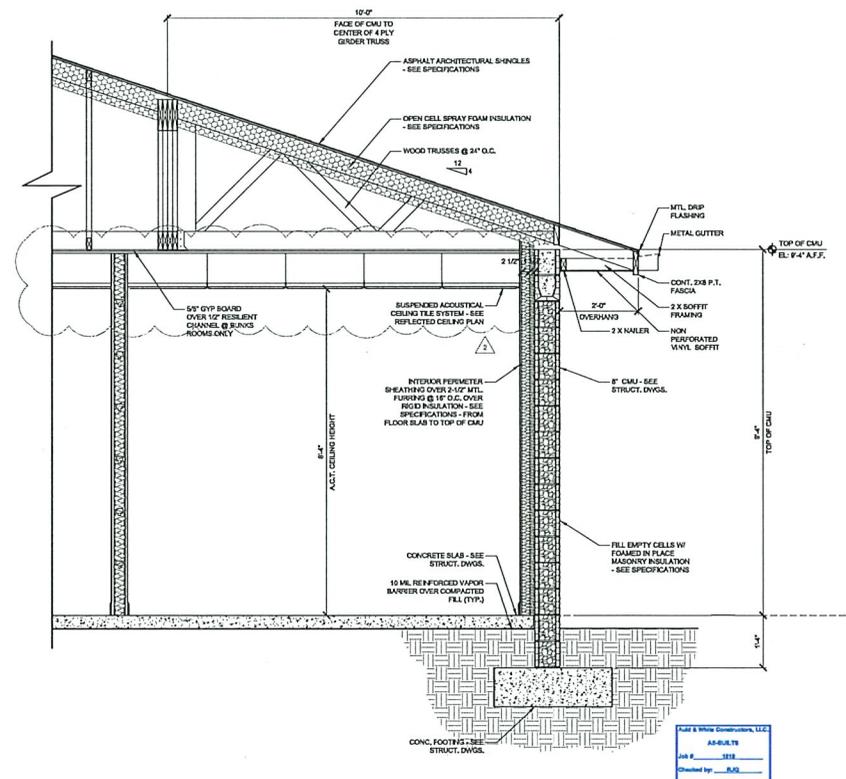
DRAWN BY: BT/LJP CHECKED BY: TED
PROJECT NO. 3722

SHEET
A-3.4

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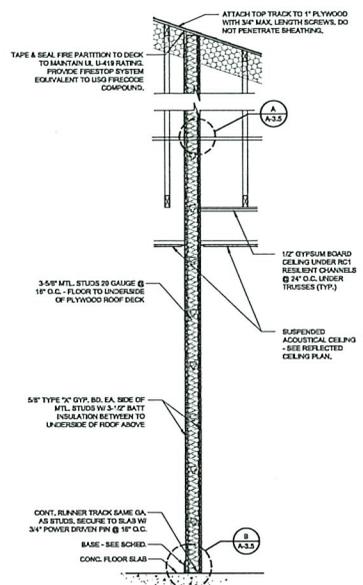
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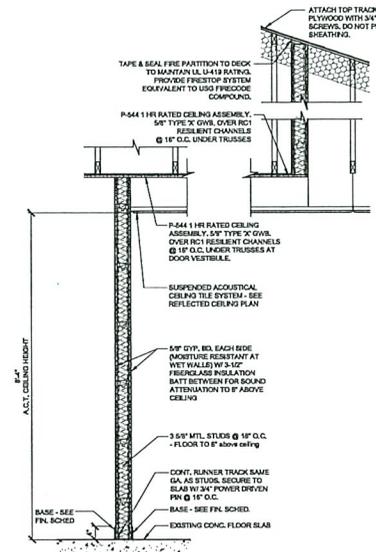
SECTION 2
SCALE: 3/4\"/>

And & White Constructors, LLC
Job # 24-0122
Checked by: BT, LJP
Date: 10/19/2024
2/20/2024
Other Doc. No. 502
AWC Project No. 1818

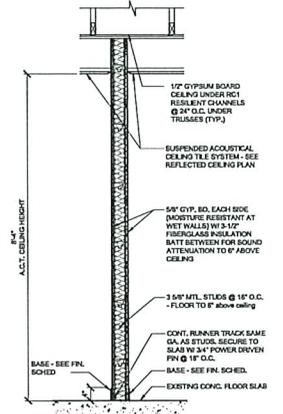
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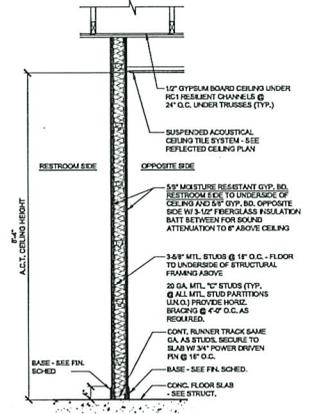
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1 WALL SECTION
SCALE: 3/4" = 1'-0"



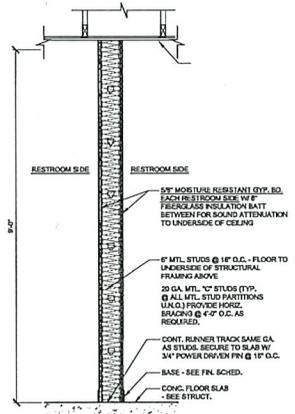
SECTION 10 - INTERIOR WALL
SCALE: 3/4" = 1'-0"



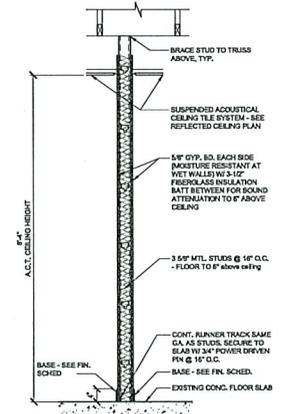
SECTION 2 - INTERIOR WALL
SCALE: 3/4" = 1'-0"



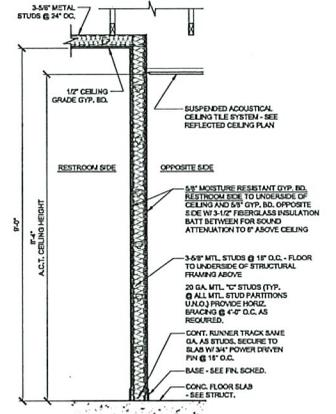
TYPE 3: BETWEEN RESTROOM AND OTHER
INTERIOR WALL SECTION
SCALE: 3/4" = 1'-0"



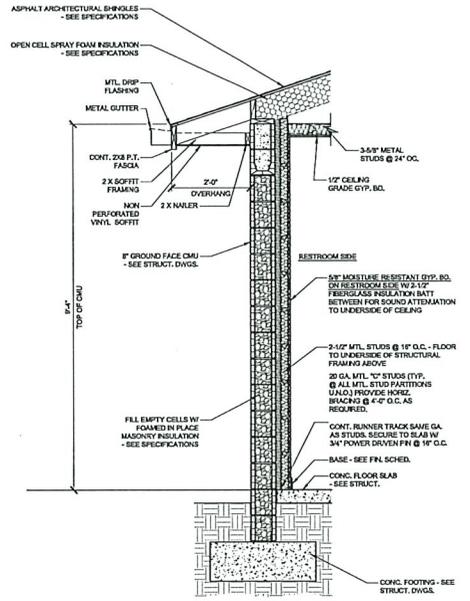
TYPE 4: BETWEEN RESTROOMS
INTERIOR WALL SECTION
SCALE: 3/4" = 1'-0"



SECTION 5 - INTERIOR WALL
SCALE: 3/4" = 1'-0"



TYPE 6: BETWEEN RESTROOM AND OTHER
INTERIOR WALL SECTION
SCALE: 3/4" = 1'-0"



TYPE 7: BATHROOM AND OTHER
EXTERIOR WALL SECTION
SCALE: 3/4" = 1'-0"

DATE	12/05/2024
CHK BY	1818
APP BY	1818
DATE	12/05/2024

REVISIONS

NO.	DATE	NOTES
1	09/27/23	ADDED PORCH - ADDED DETAILS - UPDATED MISLABELED ITEMS

THOMAS DUKE ARCHITECT, P.A.
2345 HUNTER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 2600144

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



PERMIT ISSUE: 01/27/2023
RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

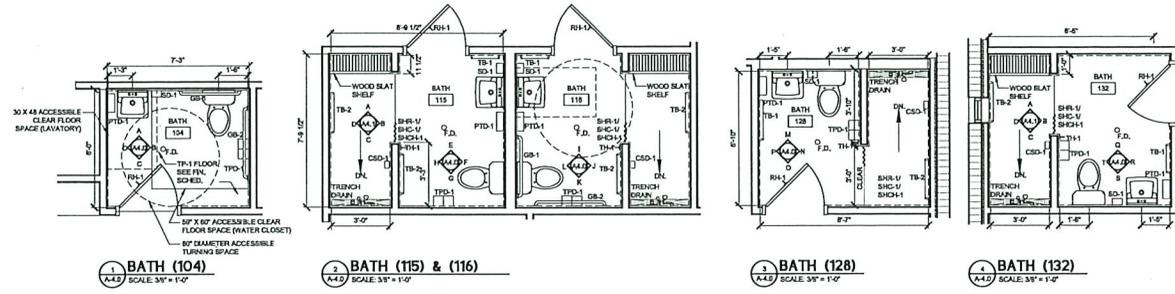
WALL SECTIONS

DRAWN BY: BT/LNP
PROJECT NO. 3722

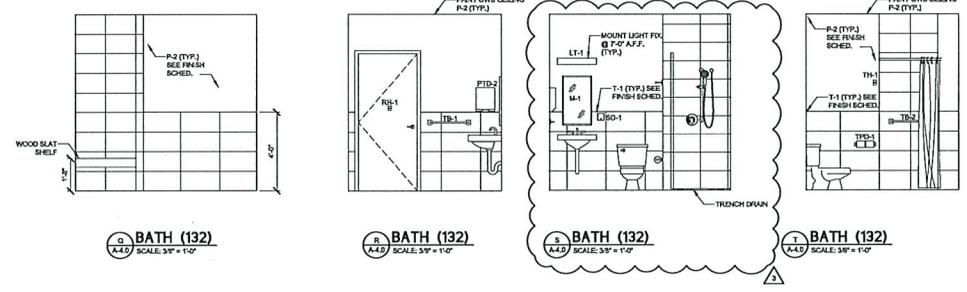
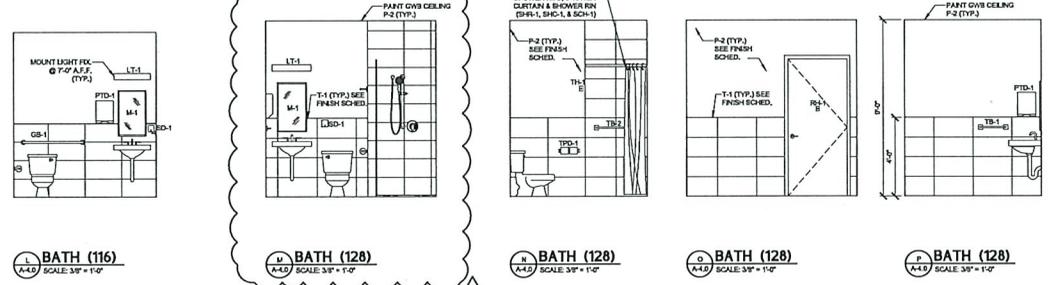
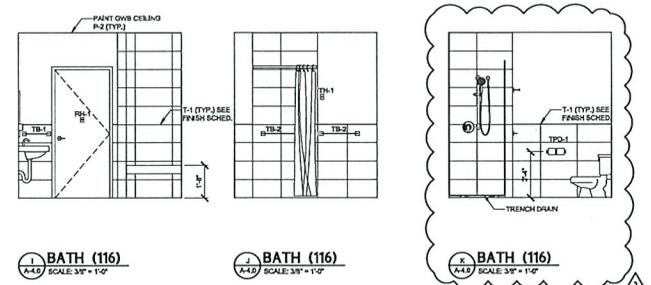
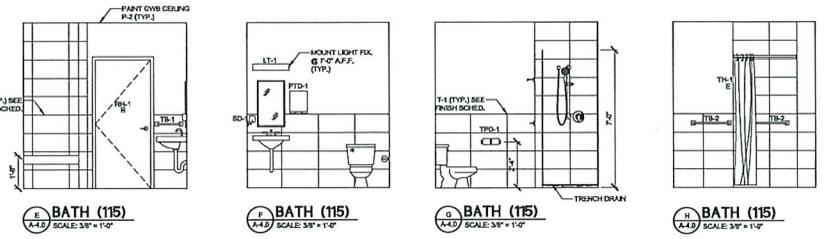
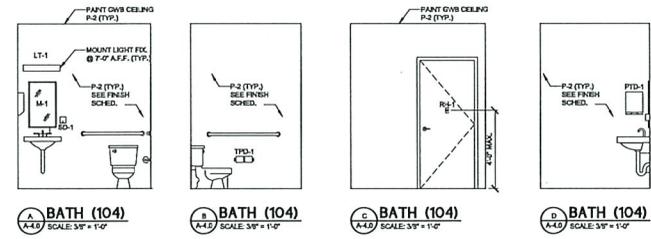
CHECKED BY: TED
SHEET
A-3.5

REVISIONS
 NO. DATE NOTES
 1 12/04/23 REVISED WALL TILE IN SHOWERS

THOMAS DUKE
 ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. #AA 26001414



NOTES:
 1. PROVIDE PADDED TRAP COVERING PER ADA GUIDELINES (TYP.)
 2. SEE SHEET A-1.1 FOR ADA MOUNTING HEIGHTS (TYP.)
 3. PROVIDE BLOCKING IN WALLS BEHIND SPIN BARS AND ALL OTHER MOUNTED ACCESSORIES (TYP.)



FIXTURE SCHEDULE

MARK	ITEM	SIZE	COLOR/MODEL	REMARK
CSB-1	CERAMIC SOAP DISH	-	COLOR TO MATCH SHOWER TILE	SEE SPECIFICATIONS FOR INSTALLATION
GB-1	GRAB BAR	1-1/2" D. X 36" L.	STAINLESS STEEL, SMOOTH BATH FINISH (EQUAL TO BRADLEY MODEL 812)	SEE SPECIFICATIONS FOR INSTALLATION
GB-2	GRAB BAR	1-1/2" D. X 42" L.	STAINLESS STEEL, SMOOTH BATH FINISH (EQUAL TO BRADLEY MODEL 812)	SEE SPECIFICATIONS FOR INSTALLATION
LT-1	VANITY WALL LIGHT	-	WALL MOUNTED LIGHT FIXTURE	SEE SPECIFICATIONS FOR INSTALLATION
M-1	MIRROR	18"x30"	STAINLESS STEEL FRAME, TEMPERED GLASS (EQUAL TO BRADLEY MODEL 760-2)	SEE SPECIFICATIONS FOR INSTALLATION
RH-1	ROSE HOOK	-	HEAVY DUTY B. & S. SINGLE-FRONG, SATIN FINISH (EQUAL TO BRADLEY MODEL 8114)	TO BE SELECTED
ED-1	SOAP DISPENSER	-	SURFACE MOUNTED LIQUID SOAP DISPENSER	TO BE SELECTED
SHR-1	SHOWER ROD	1-1/4" O.D.	STAINLESS STEEL, SATIN FINISH (EQUAL TO BRADLEY MODEL 953)	SEE SPECIFICATIONS
SHC-1	SHOWER CURTAIN	-	MICROBAN ANTI-BACTERIAL CURTAIN, WHITE (EQUAL TO BRADLEY MODEL 8537)	SEE SPECIFICATIONS
SHCH-1	SHOWER CURTAIN HOOKS	-	STAINLESS STEEL (EQUAL TO BRADLEY MODEL 953)	SEE SPECIFICATIONS
TB-1	TOWEL BAR	18" LONG	TYPE 304 STAINLESS STEEL, TUBULAR SATIN FINISH (EQUAL TO BRADLEY MODEL 9554)	SEE SPECIFICATIONS FOR INSTALLATION
TB-2	TOWEL BAR	24" LONG	TYPE 304 STAINLESS STEEL, TUBULAR SATIN FINISH (EQUAL TO BRADLEY MODEL 9554)	SEE SPECIFICATIONS FOR INSTALLATION
TH-1	TOWEL HOOK	-	HEAVY DUTY B. & S. SINGLE-FRONG, SATIN FINISH (EQUAL TO BRADLEY MODEL 8114)	SEE SPECIFICATIONS FOR INSTALLATION
TPD-1	TOILET PAPER DISPENSER	-	DOUBLE ROLL, STAINLESS STEEL, SATIN FINISH (EQUAL TO BRADLEY MODEL 5234)	SEE SPECIFICATIONS FOR INSTALLATION
PTD-1	PAPER TOWEL DISPENSER	11" H. x 11-1/4" W. x 4" D.	SURFACE MOUNTED, STAINLESS STEEL, SATIN FINISH, 420 G/FOLD OR 525 M/LT/FOLD	TUMBLER TYPE LOCKSET FOR HINGED FRONT PANEL

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
 EDWARDS ROAD
 NASSAU COUNTY



RELEASED FOR CONSTRUCTION
 DATE: 04 DECEMBER 2023

ENLARGED RESTROOM
 PLANS, ELEVATIONS,
 AND DETAILS

DRAWN BY: BT/AMP CHECKED BY: TED
 PROJECT NO. 3722

SHEET

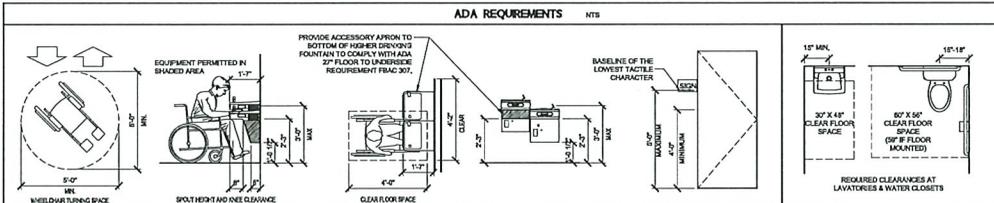
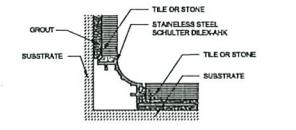
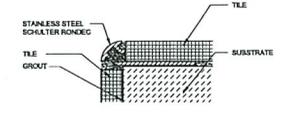
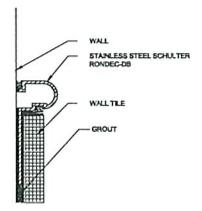
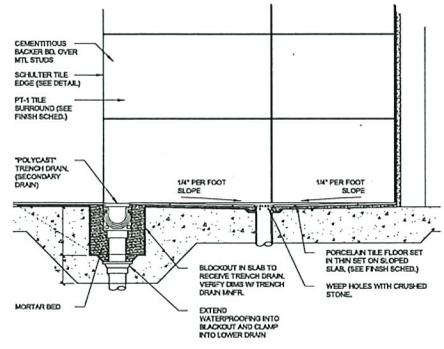
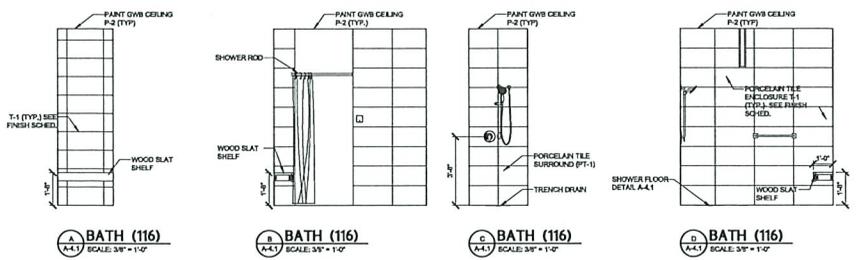
A-4.0

Arch & Write Construction, LLC
 AA-04.19
 Job #: 1711
 Drawn by: BT/AMP
 Date: 12/05/2024
 Other Doc. No. 502
 AWC Project No. 1818

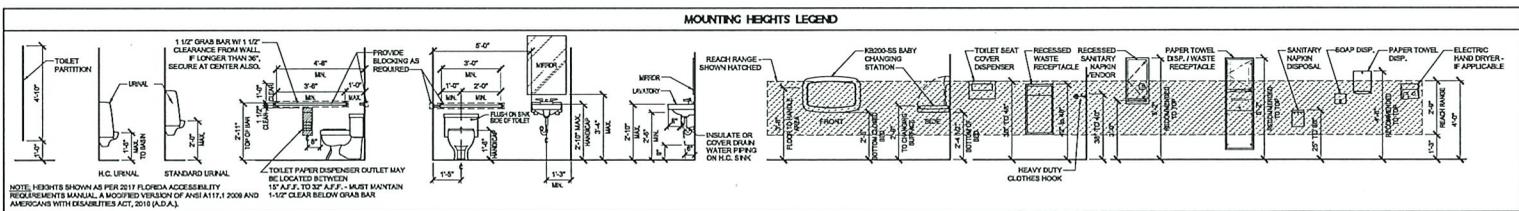
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- NOTES:**
1. SEE SHEET A-4.1 FOR ADA MOUNTING HEIGHTS (TYP.).
 2. PROVIDE BLOCKING IN WALLS BEHIND GRAB BARS AND ALL OTHER MOUNTED ACCESSORIES (TYP.).
 3. USE DUNLOP CEMENT BLD. BACKING ON ALL SHOWER WALLS (TYP.).
 4. PROVIDE BLOCKING IN WALLS FOR FUTURE GRAB BARS IN SHOWERS.



- RESTROOM NOTES:**
1. PROVIDE EPOXY PAINTED MAR. G.W.B. AT WET WALLS.
 2. PROVIDE 3/16" SOUND BATTS IN ALL WALLS.
 3. ALL FIXTURES AND ACCESSORIES TO BE BARRIER FREE. SEE THIS SHEET FOR MOUNTING HEIGHTS, LEADING AND TYPICAL FEATURE & ACCESSORY HEIGHTS.
 4. PROVIDE INTERNATIONAL SYMBOL FOR H.C. RESTROOMS - MOUNT ON LATCH SIDE OF DOOR, 87" AFF. TO CENTER OF SIGNAGE, SIGNAGE PER ADA REQUIREMENTS.
 5. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL TOILET ACCESSORIES.
 6. ADDITIONAL FREE-STANDING WASTE RECEPTACLES BY TENANT.



REVISIONS
NO. DATE NOTES

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 04 DECEMBER 2023

ENLARGED RESTROOM
PLANS, ELEVATIONS,
AND DETAILS

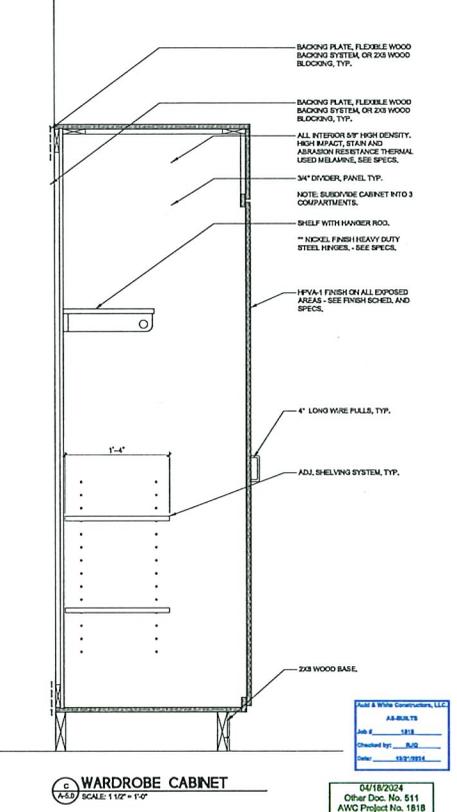
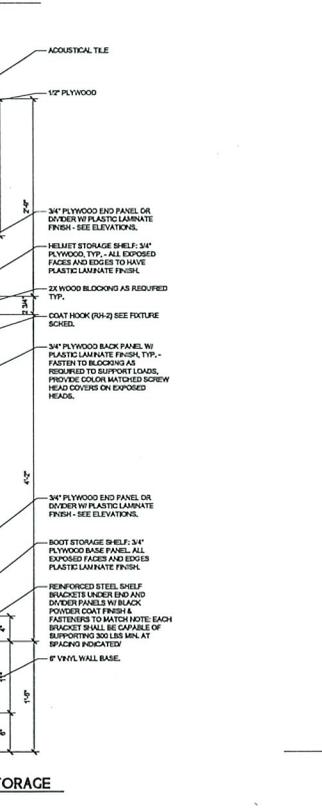
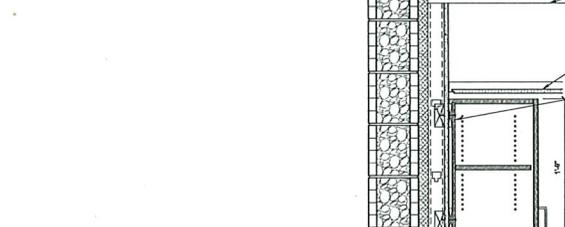
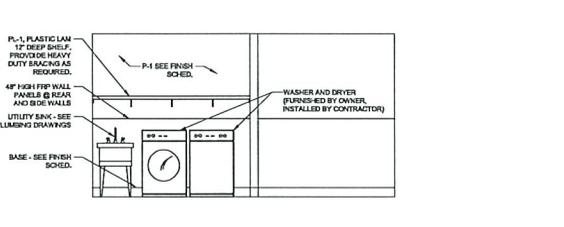
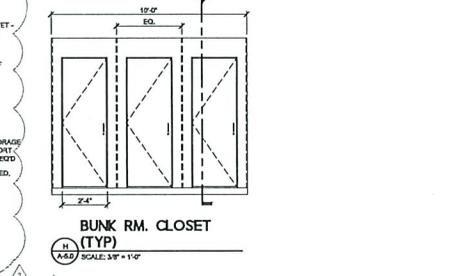
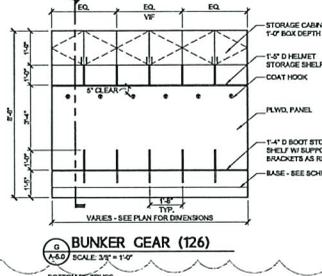
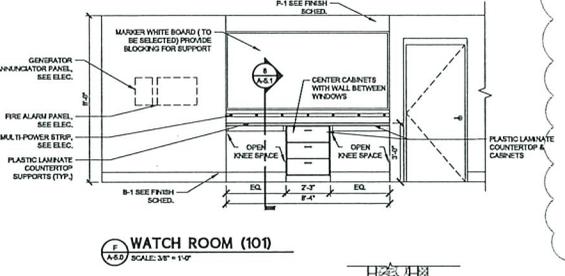
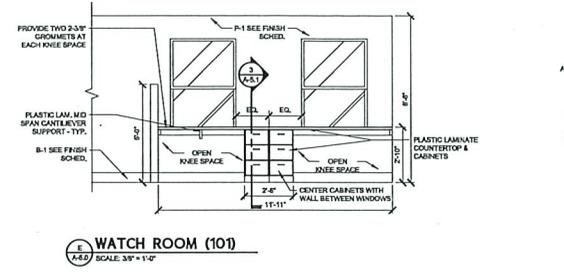
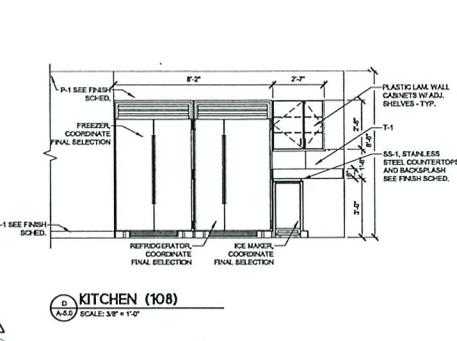
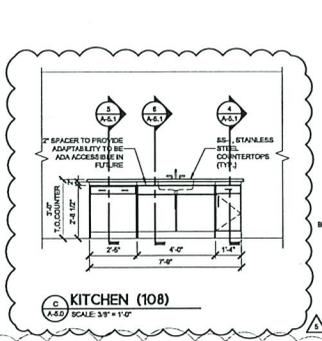
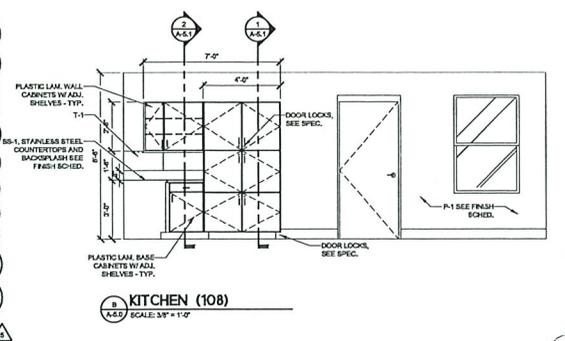
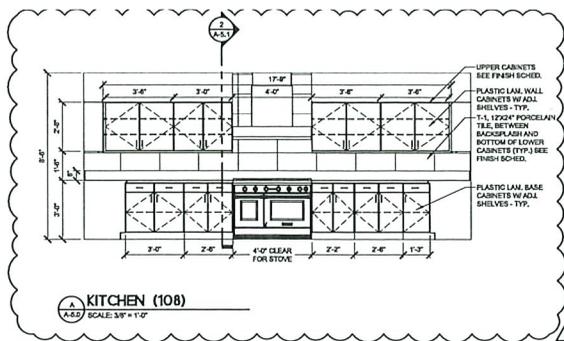
DRAWN BY: BT/ANP CHECKED BY: TED
PROJECT NO. 3722

SHEET

A-4.1

Arch & Interior Consultants, LLC
Architect
12/05/2024
Other Doc No. 502
AWC Project No. 1818

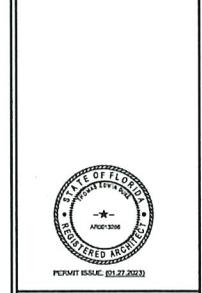
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REVISIONS		
NO.	DATE	NOTES
062723		ADDED PORCH - ADDED DETAILS
041824		UPDATED MISLABELED ITEMS
		REVISED MILLWORK, REMOVED
		ICE WASHNER, ADDED FLOOR

THOMAS DUKE ARCHITECT, P.A.
1505 DENNIS STREET, SUITE 400
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26004H

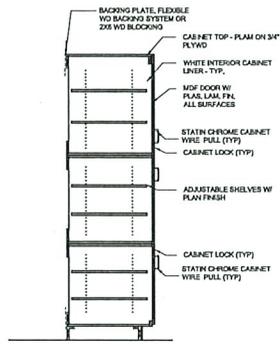
NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



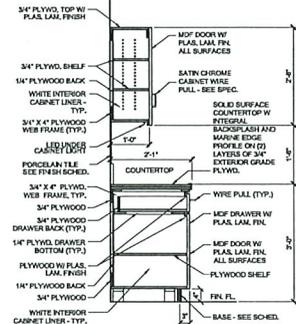
RELEASED FOR CONSTRUCTION
DATE: 27 JANUARY 2023
MILLWORK PLANS, SECTIONS AND DETAILS
DRAWN BY: LNP CHECKED BY: TED
PROJECT NO. 3722
SHEET

04/18/2024
Other Doc. No. 511
AWC Project No. 1818
A-5.0

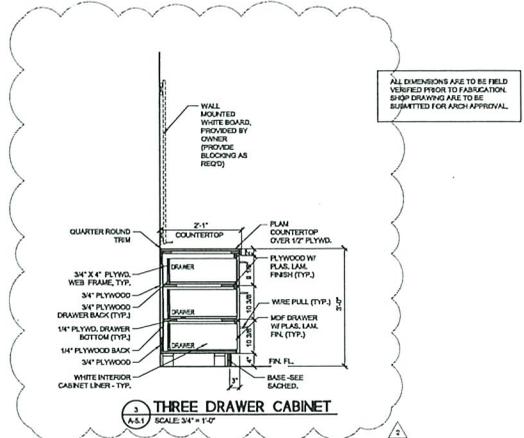
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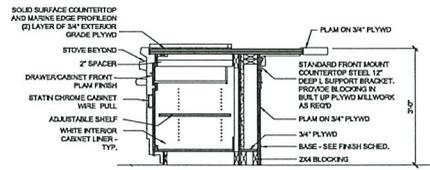
1 PANTRY CABINET SECTION
SCALE: 3/4" = 1'-0"



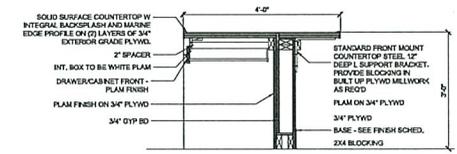
2 BASE & WALL CABINET SECTION
SCALE: 3/4" = 1'-0"



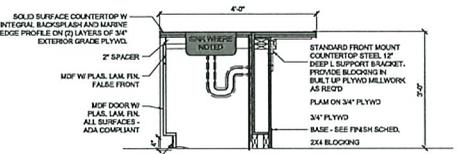
3 THREE DRAWER CABINET
SCALE: 3/4" = 1'-0"



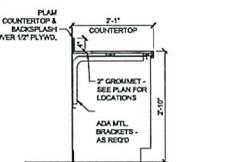
4 CABINET & KITCHEN ISLAND
SCALE: 3/4" = 1'-0"



5 COUNTER - KITCHEN
SCALE: 3/4" = 1'-0"



6 COUNTER - KITCHEN
SCALE: 3/4" = 1'-0"



7 DESKTOP IN WATCHROOM
SCALE: 3/4" = 1'-0"

REVISIONS		
NO.	DATE	NOTES
092723		ADDED PORCH - ASSIGD DETAIL & UPDATED MISLABELED ITEMS
041824		REVISED MILLWORK

THOMAS DUKE ARCHITECT, P.A.
1505 DENNIS STREET, SUITE 400
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001114

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
EDWARDS ROAD
NASSAU COUNTY



RELEASED FOR CONSTRUCTION
DATE: 27 JANUARY 2023

MILLWORK PLANS,
ELEVATIONS,
SECTIONS AND
DETAILS

DRAWN BY: LNP CHECKED BY: TED
PROJECT NO. 3722

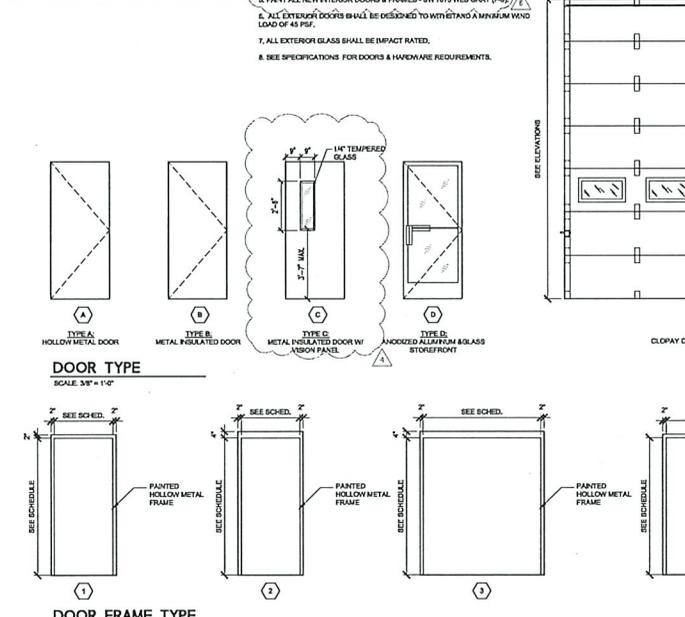
SHEET

A-5.1

04/18/2024
Other Doc. No. 511
AWG Project No. 1818

DOOR SCHEDULE table with columns: DR. NO., DR. TYPE, FRM. TYPE, OPENING SIZE, DOOR THICK., DR. MAT., FRAME MAT., HDWR. GRP., HEAD, THRES HOLD, LABEL, REMARKS

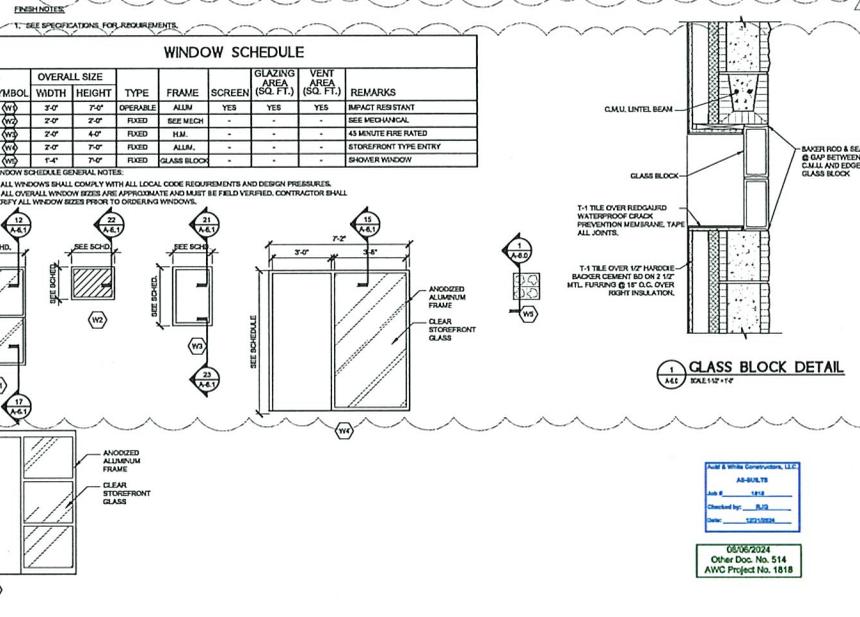
DOOR SCHEDULE LEGEND table with columns: ALUM, ALUM/CLAS, H.M., HOLLOW METAL, STAL, STAL/CLAS, MTL, METAL INSULATED



SECTION 1: EACH DOOR TO HAVE... SECTION 2: EACH DOOR TO HAVE... SECTION 3: EACH DOOR TO HAVE... SECTION 4: EACH DOOR TO HAVE... SECTION 5: EACH DOOR TO HAVE... SECTION 6: EACH DOOR TO HAVE... SECTION 7: EACH DOOR TO HAVE... SECTION 8: EACH DOOR TO HAVE...

ROOM FINISH SCHEDULE table with columns: MARK, ROOM NAME, FLOOR, BASE, WALLS, CEILING MAT., CEILING HT., REMARKS

MATERIAL LEGEND table with columns: MARK, ITEM, MANUFACTURER, COLOR/MODEL, REMARKS



REVISIONS table with columns: NO., DATE, NOTES

THOMAS DUKE ARCHITECT, P.A. 1505 DENNIS STREET, SUITE 400 JACKSONVILLE, FLORIDA 32204 (904) 356-3335 LIC. AIA 26001414

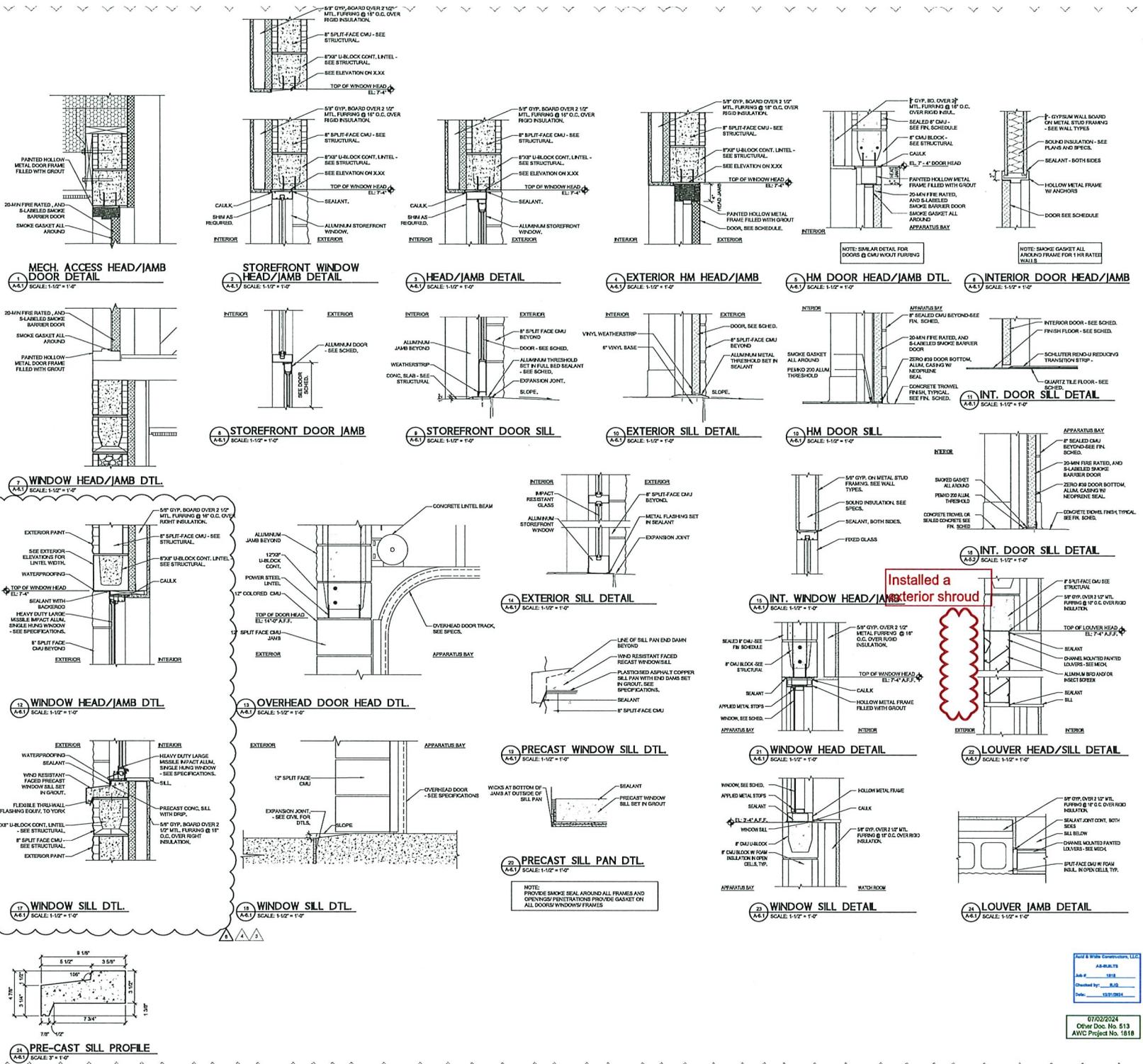
NEW BUILDING FOR TRIBUTARY FIRE STATION #51 EDWARDS ROAD NASSAU COUNTY



RELEASED FOR CONSTRUCTION DATE 27 JANUARY 2023 ROOM FINISH AND DOOR SCHEDULES DRAWN BY: LNP CHECKED BY: TED PROJECT NO. SHEET 3722 A-6.0

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REVISIONS		
NO.	DATE	NOTES
06/27/23		ADDED FINISH - ADDED DETAILS
06/27/23		UPDATED MISLABELED ITEMS
12/04/23		REVISED SILL DETAIL
03/26/24		REVISED WINDOW DETAILS
07/01/24		REVISED WINDOW DETAILS

THOMAS DUKE ARCHITECT, P.A.
 1505 DENNIS STREET, SUITE 400
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. #CA 2600144

NEW BUILDING FOR
TRIBUTARY FIRE STATION #51
 EDWARDS ROAD
 NASSAU COUNTY



RELEASED FOR CONSTRUCTION
 DATE: 27 JANUARY 2023

ROOM FINISH AND DOOR SCHEDULES

DRAWN BY: LNP CHECKED BY: TED
 PROJECT NO. 3722

SHEET

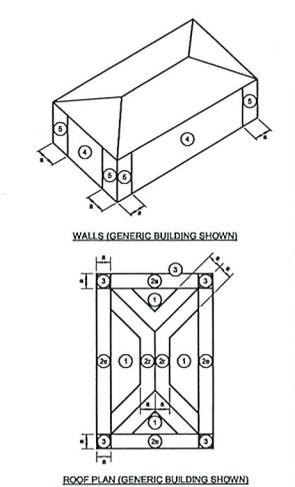
A-6.1

AWC & White Construction, LLC
 AS-BUILT
 Date: 07/02/2024
 Over Doc. No. 513
 AWC Project No. 1818

REVISIONS table with columns for NO, DATE, and NOTES. Includes project name THOMAS DUKE ARCHITECT, P.A. and address 1505 DENNIS STREET, SUITE 400 JACKSONVILLE, FLORIDA 32204.

STRUCTURAL ABBREVIATIONS table listing various structural components like GA, GB, GC, GD, GE, GF, etc. and their corresponding descriptions.

GENERAL SYMBOLS table listing symbols for PLAN, CENTER, NORTH ARROW, KEYED NOTE TO PLAN, FOUNDATION TYPE, REVISION NUMBER, and FOOTING STEP.



COMPONENT & CLADDING DESIGN WIND PRESSURES (PSF) table. Contains data for ROOF and WALLS across different zones and wind directions.

COMPONENT AND CLADDING LOADS table. Lists various load types such as DEAD LOAD, LIVE LOAD, WIND LOAD, and SNOW LOAD with their respective values and descriptions.

CONCRETE section detailing design criteria, reinforcement requirements, and construction notes for concrete elements.

MASONRY section detailing design criteria, reinforcement requirements, and construction notes for masonry walls and foundations.

WOOD section detailing design criteria, reinforcement requirements, and construction notes for wood framing and floors.

Project information block including date 02/28/2024, project name TRIBUTARY FIRE STATION, and the logo for IMEG (International Masonry Examination Group).

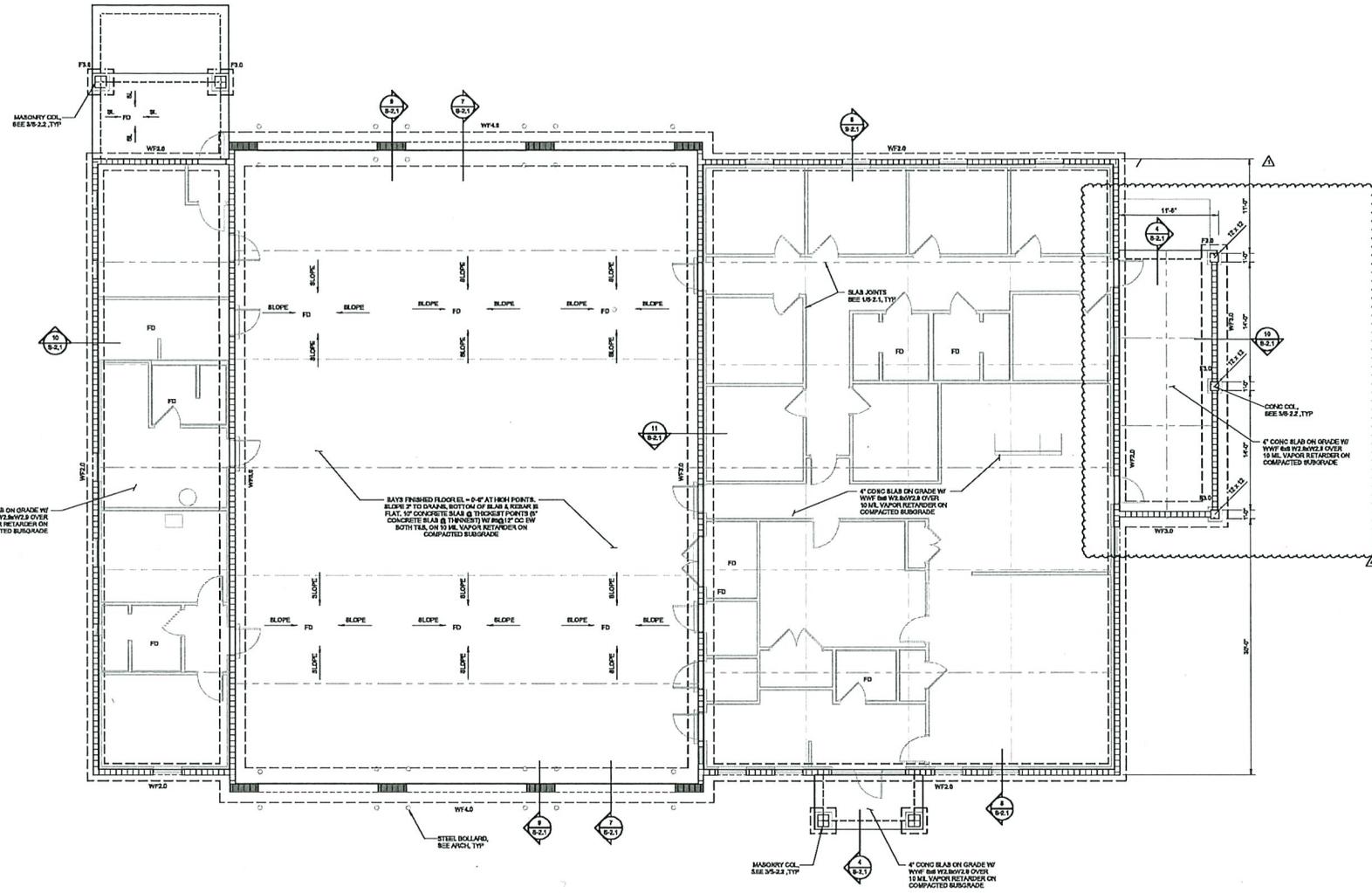
Permit and drawing information block. Includes PERMIT SET, RELEASED FOR CONSTRUCTION, DATE 15 FEBRUARY 2024, and drawing details like DRAWN BY: MME, CHECKED BY: CF, PROJECT NO.: 3722, SHEET: S-0.1.

REVISION
NO. DATE NOTES

16 JAN 2024 MODIFIED GROUND
17 FEB 2024 PLANNING UPDATE
2024

THOMAS DUKE
ARCHITECT, P.A.
1505 DENVER STREET, SUITE 400
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
FLORIDA REG. NO. 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY



1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

- PLAN NOTES:**
- 1) FOR DESIGN CRITERIA AND GENERAL NOTES, SEE SHEET 8-B.1.
 - 2) ELEVATION AND SLOPE ARE BASED ON FINISH GRADE UNLESS NOTED OTHERWISE. SEE CIVIL DRAWING FOR ACTUAL ELEVATION.
 - 3) IF FOOTING IS FOOTING TYPE, SEE NOTES ON THIS SHEET.
 - 4) TYPED TO BE 1'-4" TYP UNLESS NOTED OTHERWISE.
 - 5) FOR CORNER REINFORCING OF ALL CONCRETE FOOTING AND REINFORCED SLAB EDGE CONTROL, SEE 8-B.2.1.
 - 6) WHERE PIPE PENETRATES PERIMETER OF BUILDING, SEE MECH. PLUMBING, AND ARCH FOR PIPE LOCATION, SIZES AND ELEVATIONS, SEE 8-B.2.1.
 - 7) SEE NOTES 10 & 11.
 - 8) REINFORCED CONCRETE WALL DETAIL: FOR TOP CHAIR WALL DETAILS & REINFORCING, SEE GENERAL NOTES AND DETAIL 8-B.2.2.
 - 9) REINFORCED CONCRETE WALL ON GRADE REINFORCING SHALL BE HELD IN PLACE THROUGH THE USE OF CONCRETE BLOCKS OR CHAIRS. UNSUPPORTED REINFORCING IS NOT ALLOWED.
 - 10) SLOPE CONCRETE FLOOR TO FLOOR DRAINS, 1/4" PER 1'-0" MIN. VESSELY W/ ARCH 4 PLUMBING.
 - 11) TOP DRAINER FLOOR DRAIN LOCATION, SEE ARCH FOR DRAIN LOCATION.
 - 12) SEE DETAIL 8-B.2.1 (B) RECESSED, COORDINATE LOCATION W/ ARCH.
 - 13) VERIFY ALL JOINT LOCATIONS WORK DONE.
 - 14) CONTRACTOR TO COORDINATE BLANK WALL LOCATIONS WITH ARCHITECT, OBTAINING CHIEF ENGINEER TO PROVIDE RED BANK CORRECTION AT EACH STUD, COORD REQUIREMENTS WITH ARCHITECT.
 - 15) SEE DETAIL 8-B.2.1 FOR FOOTING STEP REQUIREMENTS WHERE GOVERNED BY CIVIL AND GEOTECH REPORT.

FOOTING SCHEDULE

TYPE	LENGTH	WIDTH	THICKNESS	BOTTOM REEF (LONG WAY)	BOTTOM REEF (SHORT WAY)	TOP REEF (LONG WAY)	TOP REEF (SHORT WAY)	REMARKS
F3.0	3'-0"	3'-0"	1'-0"	4'-6"	4'-6"	4'-6"	4'-6"	
WF3.0	CONC	2'-0"	1'-0"	4'-6"	4'-6"	4'-6"	4'-6"	
WF2.0	CONC	2'-0"	1'-0"	4'-6"	4'-6"	4'-6"	4'-6"	
WF4.0	CONC	4'-0"	1'-0"	4'-6"	4'-6"	4'-6"	4'-6"	

JOHN J. WAIN CONSULTING, LLC
ARCHITECT
JAW # 1821
Checked by: JAW
Date: 1/16/24
Other Doc. No. 509
AVC Project No. 1818

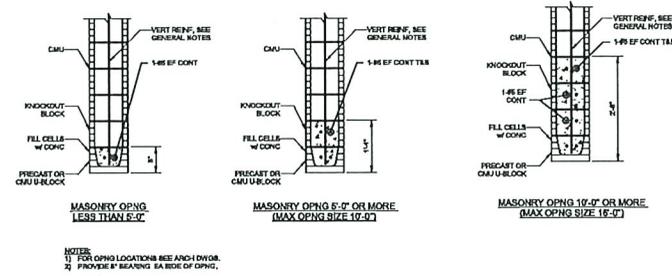
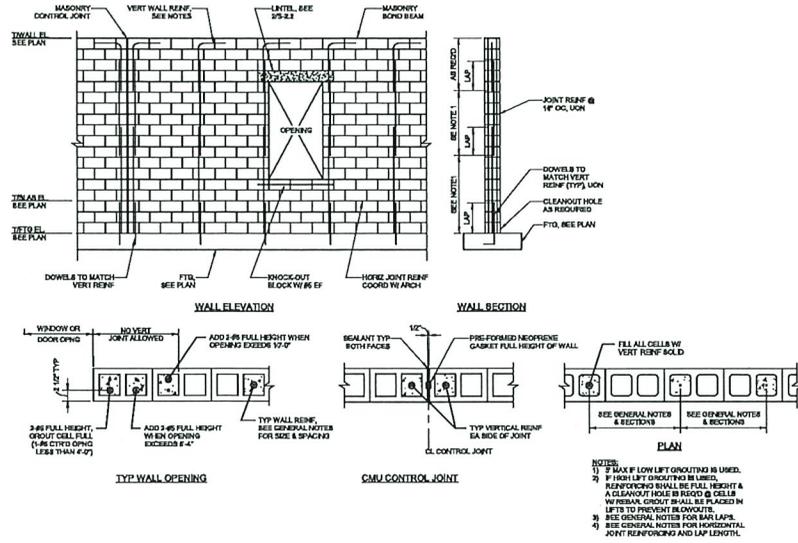
IMEG
1131 B.L. BRONNER PARKWAY
SUITE 1
JACKSONVILLE, FL 32256
P. 904.443.8300
PROJECT #22009798.00

PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 15 FEBRUARY 2024

DRAWN BY: NAME CHECKED BY: CCF
PROJECT NO. 3722

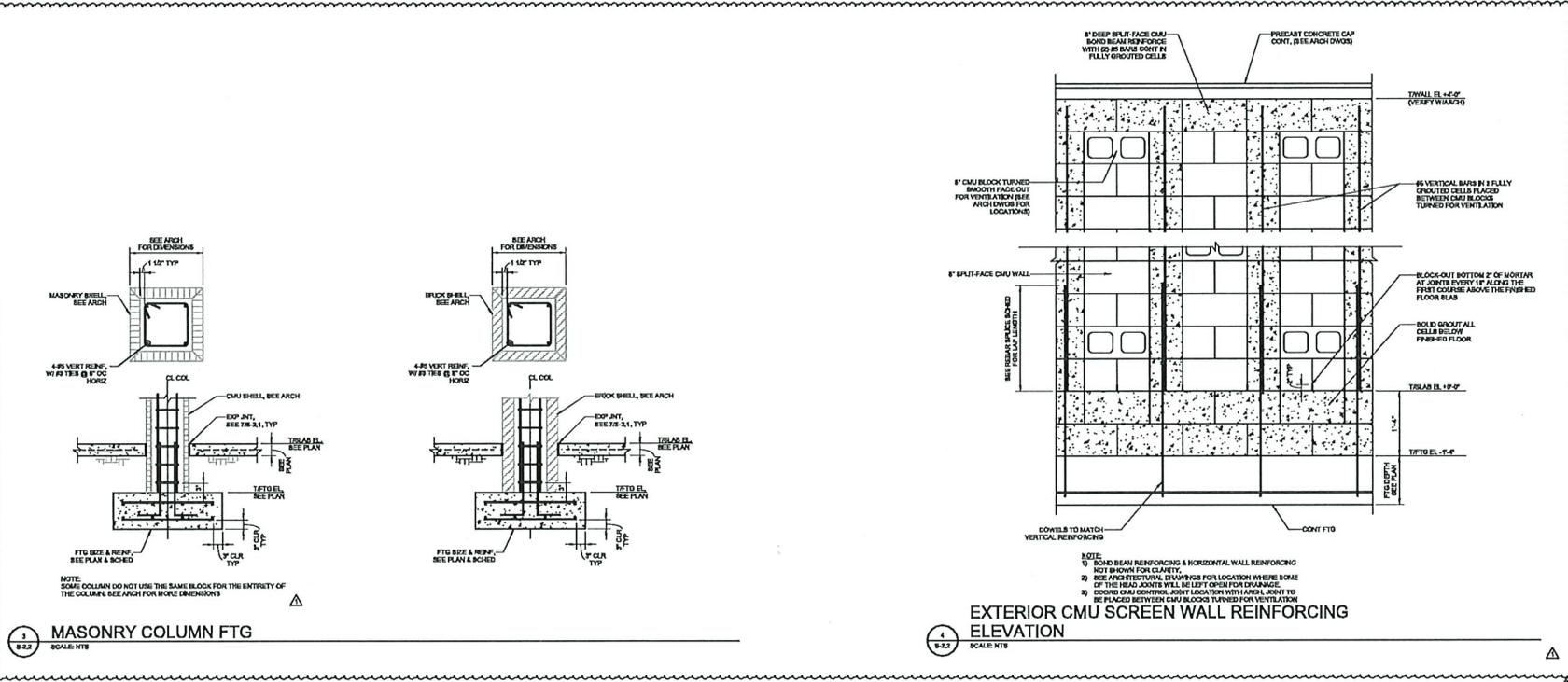
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8-1.1

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 Thomas Duke Architect, P.A.
 1505 Denver Street, Suite 400
 Jacksonville, Florida 32204
 (904) 356-3335
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1 TYP REINF MASONRY WALL
 SCALE: NTS

2 TYP MASONRY LINTEL DETAIL
 SCALE: NTS



3 MASONRY COLUMN FTG
 SCALE: NTS

4 EXTERIOR CMU SCREEN WALL REINFORCING ELEVATION
 SCALE: NTS

NO.	DATE	NOTES
1	15 February 2024	ISSUED PERMIT SET
2	15 February 2024	ISSUED PERMIT SET
3	15 February 2024	ISSUED PERMIT SET
4	15 February 2024	ISSUED PERMIT SET

THOMAS DUKE ARCHITECT, P.A.
 1505 DENNIS STREET, SUITE 400
 JACKSONVILLE, FLORIDA 32204
 (904) 358-3335
 D:\PROJECTS\2400114

NEW BUILDING FOR
TRIBUTARY FIRE STATION
 EDWARDS ROAD
 NASSAU COUNTY

PERMIT SET
 RELEASED FOR CONSTRUCTION
 DATE: 15 FEBRUARY 2024

Leaf & White Construction, LLC
 ARCHITECT
 1515 BLUE BONNET PARWAY
 SUITE 1
 JACKSONVILLE, FL 32254
 P. 904.443.1330
 PROJECT #20240708.00
 Other Doc. No. 509
 AWC Project No. 1818

IMEG
 PROJECT ARCHITECT
 1515 BLUE BONNET PARWAY
 SUITE 1
 JACKSONVILLE, FL 32254
 P. 904.443.1330
 PROJECT #20240708.00
 1505 DENNIS STREET, SUITE 400 JACKSONVILLE, FL 32204 (904) 358-3335
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NAIL FASTENING SCHEDULE				
CONNECTION	NAIL LOCATION	NAIL (A)	GUN NAIL	STAPLE (B)
JOIST TO SILL OR GIRDER	TOKENAL	3-8d	3-3/16" x 1 1/2"	3-7/16 GA
BRIDGING TO JOIST	TOKENAL EA END	2-8d	2-3/16" x 1 1/2"	2-7/16 GA
1" x 4" SUBFLOOR OR LESS TO EA JOIST	FACE NAIL	2-8d	-	-
WIDER THAN 1" x 4" SUBFLOOR TO EA JOIST	FACE NAIL	3-8d	-	-
2" SUBFLOOR TO JOIST OR GIRDER	BLIND & FACE NAIL	2-16d	-	-
SOLE PLATE TO JOIST OR BLOCKING	TYPICAL FACE NAIL	16d @ 18"	3/16" x 1 1/2" @ 8"	3" x 14 GA @ 12"
TOP PLATE TO STUD	END NAIL	2-16d	3-3/16" x 1 1/2"	3-7/16 GA
STUD TO SOLE PLATE	TOKENAL	4-8d	4-3/16" x 1 1/2"	3-7/16 GA
STUD TO SOLE PLATE	END NAIL	3-16d	3-3/16" x 1 1/2"	3-7/16 GA
DOUBLE STUDS	FACE NAIL	16d @ 24"	3/16" x 1 1/2" @ 8"	3" x 14 GA @ 8"
DOUBLE TOP PLATES	TYPICAL FACE NAIL	16d @ 18"	3/16" x 1 1/2" @ 12"	3" x 14 GA @ 12"
DOUBLE TOP PLATE SPICE (LAP 4'-0")	FACE NAIL	8-16d	12-3/16" x 1 1/2"	13" x 14 GA
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	TOKENAL	3-8d	3-3/16" x 1 1/2"	3-7/16 GA
RIM JOIST TO TOP PLATE	TOKENAL	8d @ 8"	3/16" x 1 1/2" @ 8"	3" x 14 GA @ 8"
TOP PLATE INTERSECTIONS	FACE NAIL	2-16d	3-3/16" x 1 1/2"	3-7/16 GA
CONTINUOUS HEADER, TWO PIECES	FACE NAIL	16d @ 18"	-	-
CONTINUOUS HEADER, THREE PIECES	FACE NAIL	16d @ 18"	-	-
CEILING JOISTS TO PLATE	TOKENAL	3-8d	3-3/16" x 1 1/2"	3-7/16 GA
CONTINUOUS HEADER TO STUD	TOKENAL	4-8d	-	-
CEILING JOISTS, LAPS OVER PARTITIONS	FACE NAIL	3-16d MIN	4-3/16" x 1 1/2"	4-7/16 GA
CEILING JOISTS TO PARALLEL RAFTERS	FACE NAIL	3-16d MIN	4-3/16" x 1 1/2"	4-7/16 GA
RAFTER TO PLATE	TOKENAL	3-8d	3-3/16" x 1 1/2"	3-7/16 GA
1" x 6" SHEATHING TO EA BEARING WALL	FACE NAIL	3-8d	-	-
WIDER THAN 1" x 6" SHEATHING TO EA BRG	FACE NAIL	3-8d	-	-
BUILD-UP CORNER STUDS	FACE NAIL	16d @ 24"	3/16" x 1 1/2" @ 18"	3" x 14 GA @ 18"
2" FLANKS	AT EA BEARING	16d	-	-
COLLAR TIE TO RAFTER	FACE NAIL	3-16d	4-3/16" x 1 1/2"	4-7/16 GA
JACK RAFTER TO HP	TOKENAL	3-16d	4-3/16" x 1 1/2"	4-7/16 GA
JACK RAFTER TO HP	FACE NAIL	2-16d	3-3/16" x 1 1/2"	3-7/16 GA
ROOF RAFTER TO 2x RIDGE BEAM	TOKENAL	2-16d	3-3/16" x 1 1/2"	3-7/16 GA
ROOF RAFTER TO 2x RIDGE BEAM	FACE NAIL	3-16d	3-3/16" x 1 1/2"	3-7/16 GA
JOIST TO BAND JOIST	FACE NAIL	3-16d	3-3/16" x 1 1/2"	3-7/16 GA
LEDGER BTWP	FACE NAIL	3-16d	4-3/16" x 1 1/2"	4-7/16 GA

NOTES:
 A) COMMON OR ROX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
 B) STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".

1 NAIL FASTENING SCHEDULE

SCALE: NTS

FASTENER SCHEDULE					
LOCATION	UPLET	FASTENER (1)	TRUSS/RAFTER OR STUD/POST	PLATE/END	MASONRY (2)(3)
ROOF TRUSS (7)	480d	1-1/2"	4-4d	4-4d	2-3/16" x 3/8" SCREWS
	480d	2-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	3-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	4-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	5-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	6-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	7-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	8-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	9-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS
	480d	10-1/2"	4-4d	4-4d	4-3/16" x 3/8" SCREWS

NOTES:
 1) ALL CONNECTORS LISTED ARE SIMPSON STRONG-TIE. UNLESS OTHERWISE SPECIFIED, ALL CONNECTORS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S CATALOG. ROOF TRUSS CLIPS SHALL BE SELECTED TO PROVIDE THE UPLIFT RESISTANCE SHOWN ON THE ROOF TRUSS SHOP DRAWINGS.
 2) IN ADDITION TO BEHEADED HOLD-DOWN, PROVIDE 3/4" x 16" x 1/2" NAIL FROM TRUSS TO TOP PLATE.
 3) EMBEDMENT OF BOLTS SHALL BE AS FOLLOWS:
 BOLT TYPE 1/2" 5/8" 3/4" 1" 1 1/2" 2" 2 1/2" 3" 4" 6" 8" 10" 12" 14" 16" 18" 20" 24" 30" 36" 42" 48" 54" 60" 72" 84" 96" 108" 120" 144" 168" 192" 216" 240" 270" 300" 324" 360" 408" 456" 504" 576" 648" 720" 804" 888" 972" 1068" 1164" 1260" 1368" 1476" 1584" 1692" 1800" 1908" 2016" 2124" 2232" 2340" 2448" 2556" 2664" 2772" 2880" 2988" 3096" 3204" 3312" 3420" 3528" 3636" 3744" 3852" 3960" 4068" 4176" 4284" 4392" 4500" 4608" 4716" 4824" 4932" 5040" 5148" 5256" 5364" 5472" 5580" 5688" 5796" 5904" 6012" 6120" 6228" 6336" 6444" 6552" 6660" 6768" 6876" 6984" 7092" 7200" 7308" 7416" 7524" 7632" 7740" 7848" 7956" 8064" 8172" 8280" 8388" 8496" 8604" 8712" 8820" 8928" 9036" 9144" 9252" 9360" 9468" 9576" 9684" 9792" 9900" 10008" 10116" 10224" 10332" 10440" 10548" 10656" 10764" 10872" 10980" 11088" 11196" 11304" 11412" 11520" 11628" 11736" 11844" 11952" 12060" 12168" 12276" 12384" 12492" 12600" 12708" 12816" 12924" 13032" 13140" 13248" 13356" 13464" 13572" 13680" 13788" 13896" 14004" 14112" 14220" 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AIR DISTRIBUTION DEVICE SCHEDULE

- A - TITUS MODEL TMS-AA 3-GONE CEILING DIFFUSER
 B - TITUS MODEL 50F RETURN/EXHAUST EGGRATE GRILLE
- NOTES:**
 1. COLOR TO BE SPECIFIED BY ARCHITECT.
 2. CHECK SIZES TO MATCH SIZE OF DUCTWORK TO EACH AIR DEVICE.
 EACH AIR DEVICE SHALL HAVE A VOLUME DAMPER IN THE DUCT CONNECTED TO THE DEVICE UNLESS NOTED OTHERWISE. IF AIR DEVICE IS LOCATED IN AN INACCESSIBLE CEILING, VOLUME DAMPER SHALL BE INTEGRAL WITH THE AIR DEVICE.
 EACH AIR DEVICE SHALL HAVE A VOLUME DAMPER IN THE DUCT CONNECTED TO THE DEVICE UNLESS NOTED OTHERWISE. IF AIR DEVICE IS LOCATED IN AN INACCESSIBLE CEILING, PROVIDE INTEGRAL AIR DEVICE ACCESS PANEL EQUAL TO TITUS MODEL TRM "HARD MOUNT FRAME" AND LOCATE VOLUME DAMPER WITHIN 2" OF CENTER OF DEVICE.
-

GENERAL MECHANICAL NOTES

- IN PREPARATION OF THESE PLANS, THE ENGINEER HAS USED CERTAIN ABBREVIATIONS, CONVENTIONS, AND SYMBOLS, THE MEANING OF WHICH ARE ILLUSTRATED AND EXPLAINED WITHIN THE LEGEND.
- PLANS ARE DIAGRAMMATIC ONLY. THEY ARE INTENDED TO INDICATE CAPACITY, SIZE, LOCATION, DIRECTION, AND GENERAL ARRANGEMENT, BUT NOT EXACT DETAILS OF CONSTRUCTION. THE FACT THAT ONLY CERTAIN FEATURES OF THE INSTALLATION ARE INDICATED MUST NOT BE TAKEN TO MEAN THAT OTHER FEATURES WILL NOT BE REQUIRED.
- COORDINATE WITH THE OTHER TRADES TO ENSURE THAT EACH TRADE SHALL HAVE SUFFICIENT SPACE TO INSTALL THEIR EQUIPMENT (DUCTWORK, PIPING, ELECTRICAL, WORK, ETC.).
- IN GENERAL, ALL PIPING AND DUCTWORK SHALL BE RUN IN THE CEILING SPACE UNLESS NOTED OR INDICATED OTHERWISE.
- SHOP DRAWING SUBMITTALS ARE ONLY REVIEWED FOR GENERAL CONFORMANCE WITH THE INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR MUST REVIEW AND APPROVE THE SHOP DRAWINGS PRIOR TO THEIR SUBMITTAL TO THE ARCHITECT/ENGINEER. SUBMITTALS WHICH DO NOT CONTAIN THE CONTRACTOR'S SHOP DRAWING STAMP SHALL BE RETURNED WITHOUT REVIEW. ANY REQUESTED CHANGES TO THE CONTRACT DOCUMENTS SHALL BE COMMUNICATED IN WRITING PRIOR TO SUBMITTING THE SHOP DRAWINGS AND CLOUDED ON THE SHOP DRAWINGS.
- VERIFY ALL DIMENSIONS FROM ARCHITECTURAL PLANS AND FIELD DIMENSIONS.
- DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS.
- ALL RESES, DROPS, AND TRANSITIONS IN PIPING AND DUCTWORK MAY NOT NECESSARILY HAVE BEEN SHOWN. CONTRACTOR TO VERIFY.
- PROVIDE ALL STRUCTURAL MEMBERS, SUPPORT BRACKETS, FLASHING, HARDWARE, ETC. REQUIRED TO INSTALL A COMPLETE SYSTEM.
- DIFFUSERS AND REGISTER LOCATIONS SHALL BE COORDINATED WITH LIGHT FIXTURE AND OTHER CEILING DEVICE LOCATIONS. FIELD VERIFY.
- MOUNT ALL THERMOSTATS AND/OR SENSORS 4 FEET ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
- HORIZONTALLY RUNNING PIPE AND FITTINGS SHALL NOT BE ALLOWED WITHIN ELEVATED SPACES UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.
- INSTALL TAMPER-RESISTANT REFRIGERANT SERVICE PORT CAPS AT ALL EXTERIOR REFRIGERATION EQUIPMENT THAT IS ACCESSIBLE FROM THE CURB AND NOT WITHIN A SECURE ENCLOSURE.

MECHANICAL SYMBOL LEGEND

	CEILING SUPPLY DIFFUSER
	CEILING RETURN GRILLE
	CEILING EXHAUST GRILLE
	CEILING EXHAUST FAN
	IN-LINE EXHAUST FAN
	DYNAMIC FIRE DAMPER, STYLE W FIRE DAMPER, STYLE CW FIRE DAMPER FOR ROUND DUCTS
	DYNAMIC SMOKE DAMPER
	COMBINATION DYNAMIC FIRE / SMOKE DAMPER
	DUCT SMOKE DETECTOR
	RETURN / EXHAUST DUCT TURNING DN
	RETURN / EXHAUST DUCT TURNING UP
	SUPPLY / OUTSIDE DUCT TURNING UP
	EXISTING DUCT
	TRANSFER OPENING IN WALL ABOVE CEILING
	3/4\"/>
	RADIANT DAMPER (RD)
	CONNECT TO EXISTING
	DISCONNECT FROM EXISTING
	SIDE WALL SUPPLY GRILLE
	SIDE WALL RETURN GRILLE
	AIR DEVICE TYPE AND SIZE AIR FLOW CFM
	THERMOSTAT, HUMIDISTAT, CO2 SENSOR
	REFRIGERANT PIPING (R/E SET)
	CONDENSATE DRAIN PIPING
	PIPE TURNING UP
	PIPE TURNING DOWN
	2 POSITION MOTORIZED DAMPER
	MANUAL VOLUME DAMPER
	CHILLED WATER SUPPLY PIPING
	CHILLED WATER RETURN PIPING
	CONDENSING WATER SUPPLY PIPING
	CONDENSING WATER RETURN PIPING
	GATE VALVE
	BALL VALVE
	CHECK VALVE
	STRAINER
	STRAINER WITH BLOW DOWN VALVE
	UNION
	NEEDLE VALVE WITH PRESSURE GAUGE
	THERMOMETER
	BUTTERFLY VALVE
	BALANCING VALVE
	FLEX CONNECTION
	MOTORIZED CONTROL VALVE
	TRIPLE DUTY VALVE
	VERTICAL IN-LINE PUMP (PLAN VIEW)
	PUMP
	AUTOMATIC AIR VENT

MECHANICAL ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AWU	AIR HANDLING UNIT
A	AMPERE
BHP	BRAKE HORSEPOWER
BTUH	BTU PER HOUR
CLO	CEILING
CDU	CONDENSATE DRAIN
CU	CUBIC FEET UNIT
CFM	CUBIC FEET PER MINUTE
DAM	DAMPER
EX	EXHAUST
EXP	EXPANSION
DR	DRY
DR	DRY BULB
EL	ELEVATION
EAT	ENTERING AIR TEMPERATURE
EQUIP	EQUIPMENT
EF	EXHAUST FAN
EXH	EXHAUST
EA	EXHAUST AIR
ESP	EXTERNAL STATIC PRESSURE
FPM	FEET PER MINUTE
FR	FILTER
FR	FINS PER INCH
FD	FIRE DAMPER
FLEX	FLEXIBLE
FL or FLR	FLOOR
GLV	GALVANIZED
HP	HORSEPOWER
CL	CLOCKWISE
VO	VOLUME DAMPER
MANUF	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
OSD	OPPOSED BLADE DAMPER
OA	OUTSIDE AIR
B	BRAKE
RA	RETURN AIR AND/OR ROOM AIR
LIBS	LIBRARY
SCFT	SQUARE FEET
SON	SOUND
SA	SHUTTER AIR
TEMP	TEMPERATURE
THOUS	THOUSAND BTUH
TAD	TRANSFER AIR DUCT
TYP	TYPICAL
UC	UNDERCUT
V	VALVE
WB	WET BULB
W	WITH
WO	WITHOUT

GENERAL SYMBOLS

	PLAN OR DETAIL NO. SHEET NUMBER
	KEYED NOTE TO PLAN
	REVISION NUMBER
	NORTH ARROW

REVISIONS
 NO. DATE NOTES

THOMAS DUKE
 ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. NO. 26501414

NEW BUILDING FOR

TRIBUTARY FIRE STATION

EDWARDS ROAD
 NASSAU COUNTY, FLORIDA

PERMIT SET
 RELEASED FOR CONSTRUCTION
 DATE: 26 JANUARY 2023

DAVID DOHREY
 LICENSE
 No. 73336
 STATE OF
 FLORIDA
 2023.07.06 15:13:35

DRAWN BY: DDD CHECKED BY: DDD
 PROJECT NO. SHEET 3722

SHEET
M-0.1

McVEIGH & MANGUM
 ENGINEERS
 1025 N. Orange Avenue
 Jacksonville, Florida 32204
 P.O. Box 100000
 Jacksonville, Florida 32210
 Tel: 904.241.1000
 Fax: 904.241.1001
 www.mcveighmangum.com
 CA 0180
 Eng. of Record, David D. Dohrey License No. 73336

5/2023 8:36:00 PM
 c:\users\David\Documents\2023\Tributary Fire Station - MEP - R001.rvt
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REVISIONS table with columns for NO, DATE, and NOTES. Includes Thomas Duke Architect, P.A. contact information.

NEW BUILDING FOR TRIBUTARY FIRE STATION EDWARDS ROAD NASSAU COUNTY, FLORIDA

PERMIT SET RELEASED FOR CONSTRUCTION DATE: 26 JANUARY 2023. Includes official stamps and signatures.

LOUVER SCHEDULE table with columns for DESIGNATION, LOCATION, FUNCTION, CFM, DIMENSIONS, etc.

ZONE DAMPER SCHEDULE table with columns for UNIT DESIGNATION, MANUFACTURER, MODEL NUMBER, etc.

INTAKE/RELIEF VENT SCHEDULE table with columns for MARK, MODEL, MANUFACTURER, CFM, etc.

GAS UNIT HEATER SCHEDULE table with columns for DESIGNATION, AREA SERVED, MANUFACTURER, etc.

HEAT PUMP SPLIT SYSTEM SCHEDULE table with columns for SYSTEM NUMBER, AREA SERVED, MANUFACTURER, etc.

DUCTLESS DX SPLIT SYSTEM AIR CONDITIONER SCHEDULE table with columns for UNIT DESIGNATION, LOCATION, MANUFACTURER, etc.

EXHAUST / SUPPLY FAN SCHEDULE table with columns for DESIGNATION, LOCATION, AREA SERVED, etc.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-1 table with columns for ROOM NAME, AREA, CALCULATED OCCUPANCY, etc.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-2 table with columns for ROOM NAME, AREA, CALCULATED OCCUPANCY, etc.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-3 table with columns for ROOM NAME, AREA, CALCULATED OCCUPANCY, etc.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-4 table with columns for ROOM NAME, AREA, CALCULATED OCCUPANCY, etc.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-5 table with columns for ROOM NAME, AREA, CALCULATED OCCUPANCY, etc.

ASHRAE 62.1-2010 VENTILATION CALCULATION SF-AB1,2 & EF-AB1,2 table with columns for ROOM NAME, AREA, CALCULATED OCCUPANCY, etc.

Vertical text on the left margin: 10/25/2023 5:26:08 PM... Use of this drawing shall be restricted to the original site for which it was prepared...

GENERAL NOTES:

1. ROUTE SUPPLY AND RETURN DUCTWORK IN TRUSS SPACE ABOVE UNRATED HAND CEILING.
2. PROVIDE FIRE DAMPERS FOR ALL DUCTS PENETRATING UNRATED CEILING.

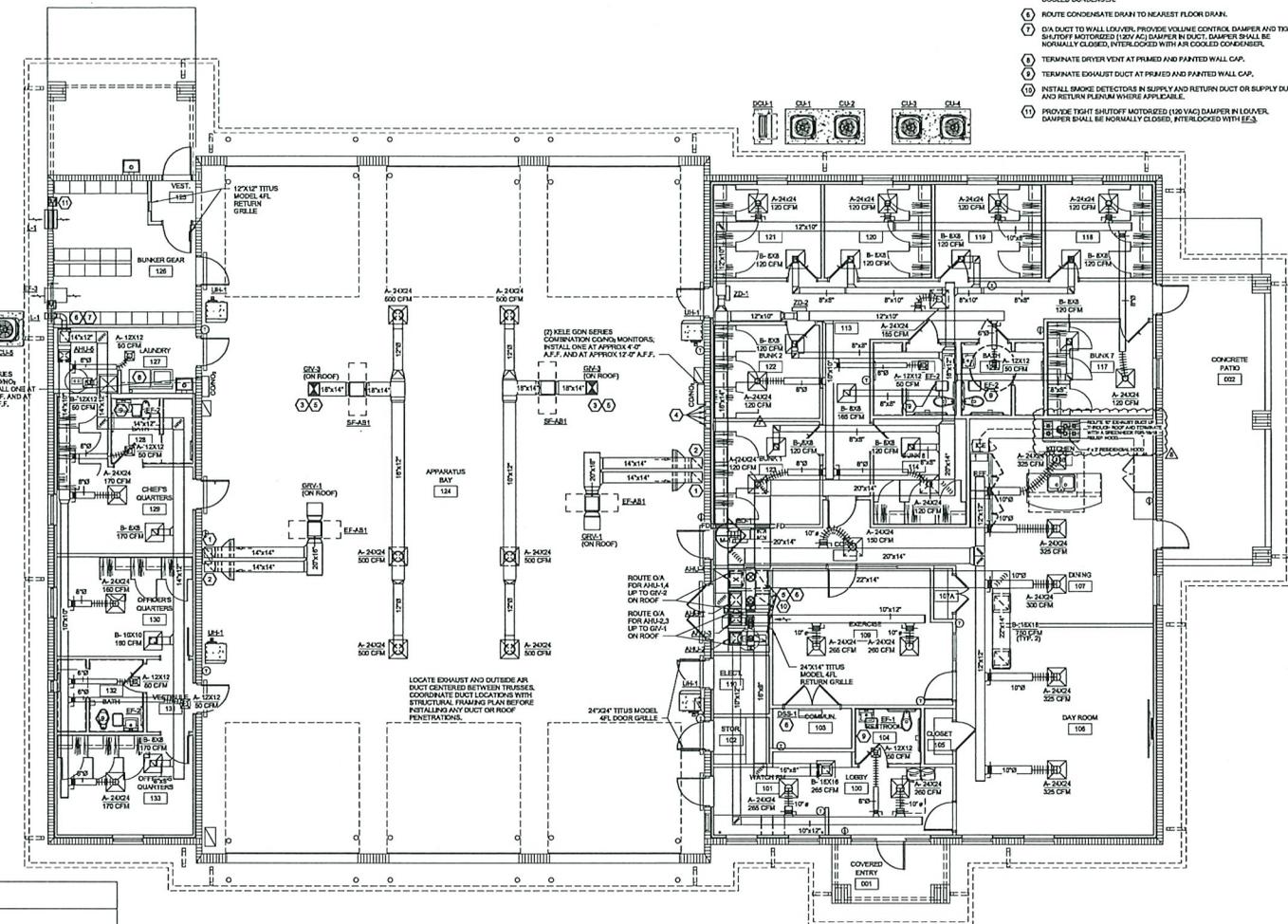
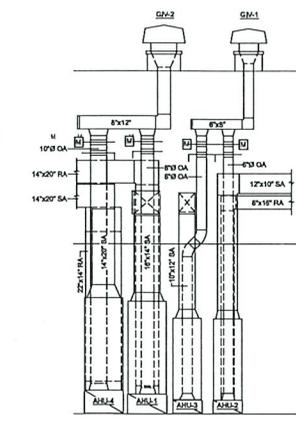
KEYED NOTES:

1. TRANSITION TWO EXL. DUCTS TO A SINGLE EXL. DUCT TO BE TERMINATED 18" A.F.F., ABOVE BOTTOM OF 2404 RETURN GRILLES AT 0'-0" AND 12'-0" A.F.F.
2. COORDINATE DUCT ROUTING WITH STRUCTURAL DRAWINGS AND TRUSS LOCATIONS.
3. PROVIDE DUCT TRANSITION UP TO GV-3.
4. COMBINATION STARTER WITH INTEGRAL DISCONNECT SWITCH FOR EF-AB1 & EF-AB2.
5. DA DUCT UP TO GRAVITY INTAKE VENTILATOR ON ROOF. PROVIDE VOLUME CONTROL DAMPER AND TIGHT SHUTOFF MOTORIZED (120V AC) DAMPER IN DUCT. DAMPER SHALL BE NORMALLY CLOSED, INTERLOCKED WITH AIR COOLED CONDENSERS.
6. ROUTE CONDENSATE DRAIN TO NEAREST FLOOR DRAIN.
7. DA DUCT TO WALL LOUVER, PROVIDE VOLUME CONTROL DAMPER AND TIGHT SHUTOFF MOTORIZED (120V AC) DAMPER IN DUCT. DAMPER SHALL BE NORMALLY CLOSED, INTERLOCKED WITH AIR COOLED CONDENSERS.
8. TERMINATE EXHAUST VENT AT PRIMED AND PAINTED WALL CAP.
9. TERMINATE EXHAUST DUCT AT PRIMED AND PAINTED WALL CAP.
10. INSTALL SMOKE DETECTORS IN SUPPLY AND RETURN DUCT OR SUPPLY DUCT AND RETURN PLenum WHERE APPLICABLE.
11. PROVIDE TIGHT SHUTOFF MOTORIZED (120V AC) DAMPER IN EXHAUST DAMPER SHALL BE NORMALLY CLOSED, INTERLOCKED WITH EES.

REVISIONS		
NO.	DATE	NOTES
1	REVISED	REVISION 1
2	REVISED	REVISION 2
3	REVISED	REVISION 3

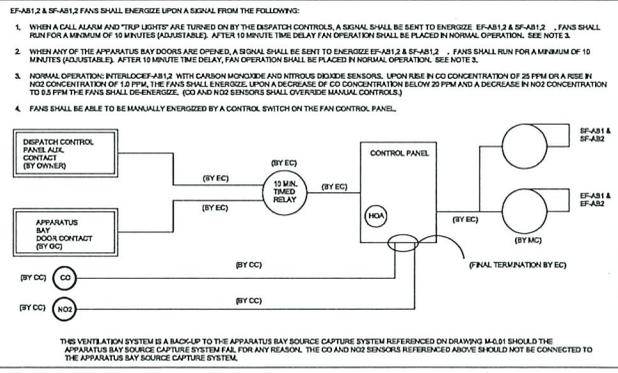
THOMAS DUKE ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. HAA 26001414

MECHANICAL ROOM ELEVATION
SCALE: 3/8" = 1'-0"



HVAC FLOOR PLAN
SCALE: 3/8" = 1'-0"

EF-AB-1 AND EF-AB-2 SEQUENCE OF OPERATION:



APPARATUS BAY SOURCE CAPTURE SYSTEM

FURNISH AND INSTALL A COMPLETE AND OPERATING SOURCE CAPTURE EXHAUST SYSTEM TO SERVE THE EMERGENCY VEHICLES IN THE APPARATUS BAY AREA. SYSTEM SHALL BE DESIGNED BY THE EQUIPMENT MANUFACTURER, SPECIFICALLY BATED FOR THIS PROJECT. SYSTEM SHALL BE COMPLETE AND INCLUDE, BUT NOT LIMITED TO: MAGNETIC SHUT-OFF VALVE, CRANK BALANCER, LIFTING BELLOWS, HIGH TEMPERATURE HOSE, MAGNETIC NOZZLE, FAN LOUVER, GAS DETECTION DEVICES, UL LISTED CONTROLS AND WIRING. FINE EXHAUST FAN SHALL BE A FLORIDA APPROVAL NUMBER AND MARKING N.E.A. FINE FANS SHALL DISCHARGE INTO APCA 500 LISTED LOUVERS. PRODUCTS AND DESIGN SERVICES BY MAGNETIC GROUP WILL BE CONSIDERED.

J & W Electric Contractors, LLC
 AS-BL-15
 Job # 1818
 Checked by: J.W.
 Date: 10/31/2024

02/14/2024
 Other Doc. No. 504
 AMC Project No. 1818



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DATE: 26 JANUARY 2023

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PROJECT NO. SHEET

M-1.1

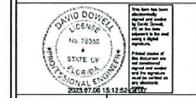
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REVISIONS		
NO.	DATE	NOTES

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ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
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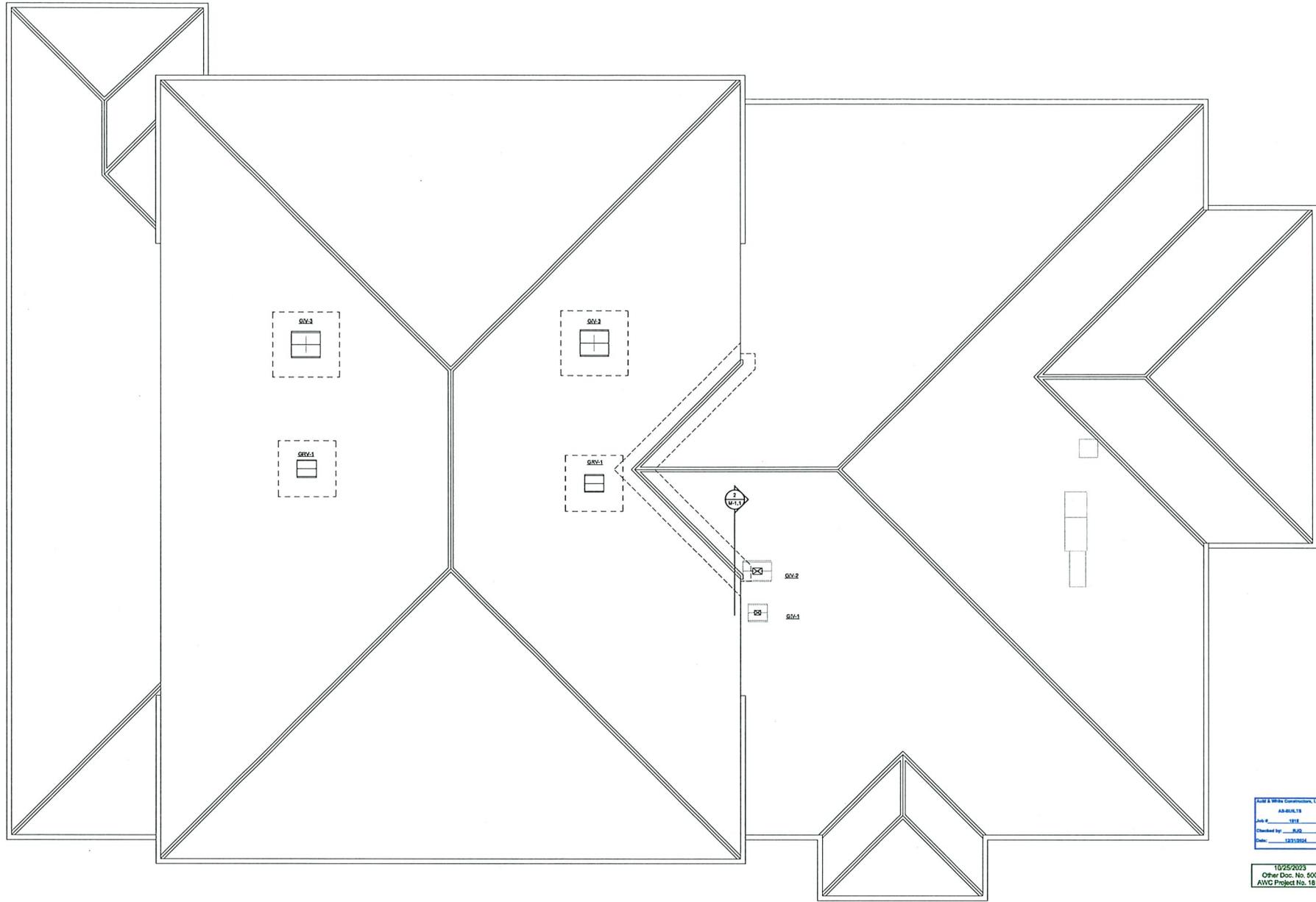
NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

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DATE: 26 JANUARY 2023



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PROJECT NO. 3722

SHEET
M-1.2



MECHANICAL ROOF PLAN
SCALE: 1/4" = 1'-0"

Arch & White Constructors, LLC
AR-AW-18
Job # 1818
Created By: JDD
Date: 12/29/2022

10/25/2023
Other Desc. No. 500
AWC Project No. 1818

McVEIGH & MANGUM
INCORPORATED
www.McVigilMangum.com
1111 S.W. 8th Street, Suite 1000
Jacksonville, Florida 32209
Tel: 904-443-0000
Fax: 904-443-0000
email: mcm@mcvigilmangum.com
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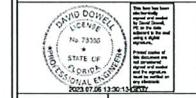
5/2023 5:36:12 PM
C:\work\Drawings\2024\Tributary Fire Station\1818_Tributary Fire Station_MECH_1818.rvt
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ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
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NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 26 JANUARY 2023



DRAWN BY: DDD CHECKED BY: DDD
PROJECT NO. 3722

SHEET
P-0.1

- GENERAL PLUMBING NOTES**
- IN THE PREPARATION OF THESE PLANS, THE ENGINEER HAS USED CERTAIN ABBREVIATIONS, CONVENTIONS, AND SYMBOLS. THE MEANING OF WHICH ARE ILLUSTRATED AND EXPLAINED WITHIN THE LEGEND.
 - PLANS ARE DIAGNOSTIC ONLY. THEY ARE INTENDED TO INDICATE CAPACITY, SIZE, LOCATION, DIRECTION AND GENERAL ARRANGEMENT, BUT NOT EXACT DETAILS OF CONSTRUCTION. THE FACT THAT ONLY CERTAIN FEATURES OF THE INSTALLATION ARE INDICATED MUST NOT BE TAKEN TO MEAN THAT OTHER FEATURES WILL NOT BE REQUIRED.
 - COORDINATE WITH THE OTHER TRADES TO INSURE THAT EACH TRADE SHALL HAVE SUFFICIENT SPACE TO INSTALL THEIR EQUIPMENT (DUCTWORK, PIPING, ELECTRICAL WORK, ETC.).
 - SHOP DRAWING SUBMITTALS ARE ONLY REVIEWED FOR GENERAL CONFORMANCE WITH THE INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR MUST REVIEW AND APPROVE THE SHOP DRAWINGS PRIOR TO THEIR SUBMITTAL TO THE ARCHITECT/ENGINEER. SUBMITTALS WHICH DO NOT CONTAIN THE CONTRACTOR'S SHOP DRAWING STAMP SHALL BE RETURNED WITHOUT REVIEW. ANY REQUESTED CHANGES TO THE ORIGINAL DOCUMENTS SHALL BE COMMUNICATED IN WRITING PRIOR TO SUBMITTING THE SHOP DRAWINGS AND CLOUDED ON THE SHOP DRAWINGS.
 - VERIFY ALL DIMENSIONS FROM ARCHITECTURAL PLANS AND FIELD DIMENSIONS.
 - ALL RISERS AND DROPS IN PIPING ARE NOT NECESSARILY SHOWN.
 - PROVIDE STOP OR ANGLE VALVES ON EACH WATER CONNECTION TO EACH PLUMBING FIXTURE.
 - PROVIDE ALL STRUCTURAL MEMBERS, SUPPORT BRACKETS, FLASHING, HARDWARE, ETC. REQUIRED TO INSTALL A COMPLETE SYSTEM.
 - PROVIDE CHROME PLATED ESCUTCHEON PLATES AT ALL EXPOSED WALL PENETRATIONS AND CEILING PENETRATIONS.
 - PROVIDE CLEANOUTS ON SANITARY LINES AND CONDENSATE DRAIN LINES AS REQUIRED BY CODE.
 - PROVIDE ACCESS PANELS FOR ALL SHUT-OFF VALVES LOCATED ABOVE GYP-SH BOARD CEILING. COORDINATE WITH GENERAL CONTRACTOR.
 - HORIZONTALLY RUNNING PIPE AND FITTINGS SHALL NOT BE ALLOWED WITHIN ELEVATED SLABS UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.

PLUMBING SYMBOL LEGEND

-----	COLD WATER PIPE
-----	HOT WATER PIPE
-----	HOT WATER RETURN PIPE
-----	EXISTING COLD WATER PIPE
-----	EXISTING HOT WATER PIPE
-----	EXISTING HOT WATER RETURN PIPE
-----	FIRE
-----	GREASE WASTE
-----	SOIL OR WASTE PIPE
-----	EXISTING SOIL OR WASTE PIPE
-----	STORM
-----	STORM SECONDARY
-----	VENT PIPE
-----	EXISTING VENT PIPE
-----	CHILLED WATER RETURN PIPE
-----	CHILLED WATER SUPPLY PIPE
-----	CONDENSER WATER PIPE
-----	COOLING WATER RETURN PIPE
-----	COOLING WATER SUPPLY PIPE
-----	TURNED UP
-----	TURNED DOWN
-----	TEE, OUTLET DOWN
-----	TEE, OUTLET UP
-----	TEMPERATURE AND PRESSURE RELIEF DRAIN PIPING
-----	EMERGENCY DRAIN PAN PIPING
-----	GATE VALVE
-----	PRESSURE RELIEF VALVE
-----	BALL VALVE
-----	PLUMBING FIXTURE DESIGNATION (UNDER LINED)
-----	CONNECT TO EXISTING
-----	DISCONNECT FROM EXISTING
-----	MEDICAL GAS PIPE
-----	NATURAL GAS PIPE
-----	COMPRESSED AIR PIPE
-----	NITROUS OXIDE PIPE
-----	NITROGEN PIPE
-----	OXYGEN PIPE
-----	VACUUM PIPE

PLUMBING ABBREVIATIONS

ACC	ABOVE CEILING
AFI	ABOVE FINISHED FLOOR
AFD	ABOVE FINISHED GRADE
BFF	BELOW FINISHED FLOOR
BFG	BELOW FINISHED GRADE
BFP	BELOW FINISHED FLOOR
BTU	BRITISH THERMAL UNIT
CE	CLEANOUT
CW	COLD WATER
COAN	CONDENSATE
CM	CUMMETER
DM	DOMESTIC WATER
DN	DOWN
DMV	DRAIN WASTE VENT
DFU	DRAINAGE FIXTURE UNIT
ED	EXHAUST FAN
EA	EXHAUST AIR
EX	EXISTING
FLY FLR	FLOOR
FGO	FLOOR CLEANOUT
GPM	GALLONS PER MINUTE
GCC	GENERAL CONTRACTOR
GCO	GRADE CLEANOUT
GW	GREASE WASTE
HW	HOT WATER
HWR	HOT WATER RETURN
IN	IN
IE	INVERT ELEVATION
MANF	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
OST	OVERFLOW STORM
PC	PLUMBING CONTRACTOR
SAN F S	SANITARY
ST	STORM
V	VENT
VTR	VENT TO ROOF
WGD	WALL CLEANOUT
W	WASTE
WTR	WATER
WSPU	WATER SUPPLY FIXTURE UNIT
w	WITH
wO	WITHOUT

GENERAL SYMBOLS

○	PLAN OR DETAIL NO.
○	SHEET NUMBER
①	KEYED NOTE TO PLAN
△	REVISION NUMBER
⊕	NORTH ARROW

Asst & White Construction, LLC
AS-00019
Job # 1918
Checked by: DDD
Date: 1/23/2023

10/25/2023
Other Doc. No. 500
AWC Project No. 1818



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REVISIONS		
NO.	DATE	NOTES
1	12/29/2023	REVISED
2	12/29/2023	REVISED
3	12/29/2023	REVISED
4	12/29/2023	REVISED

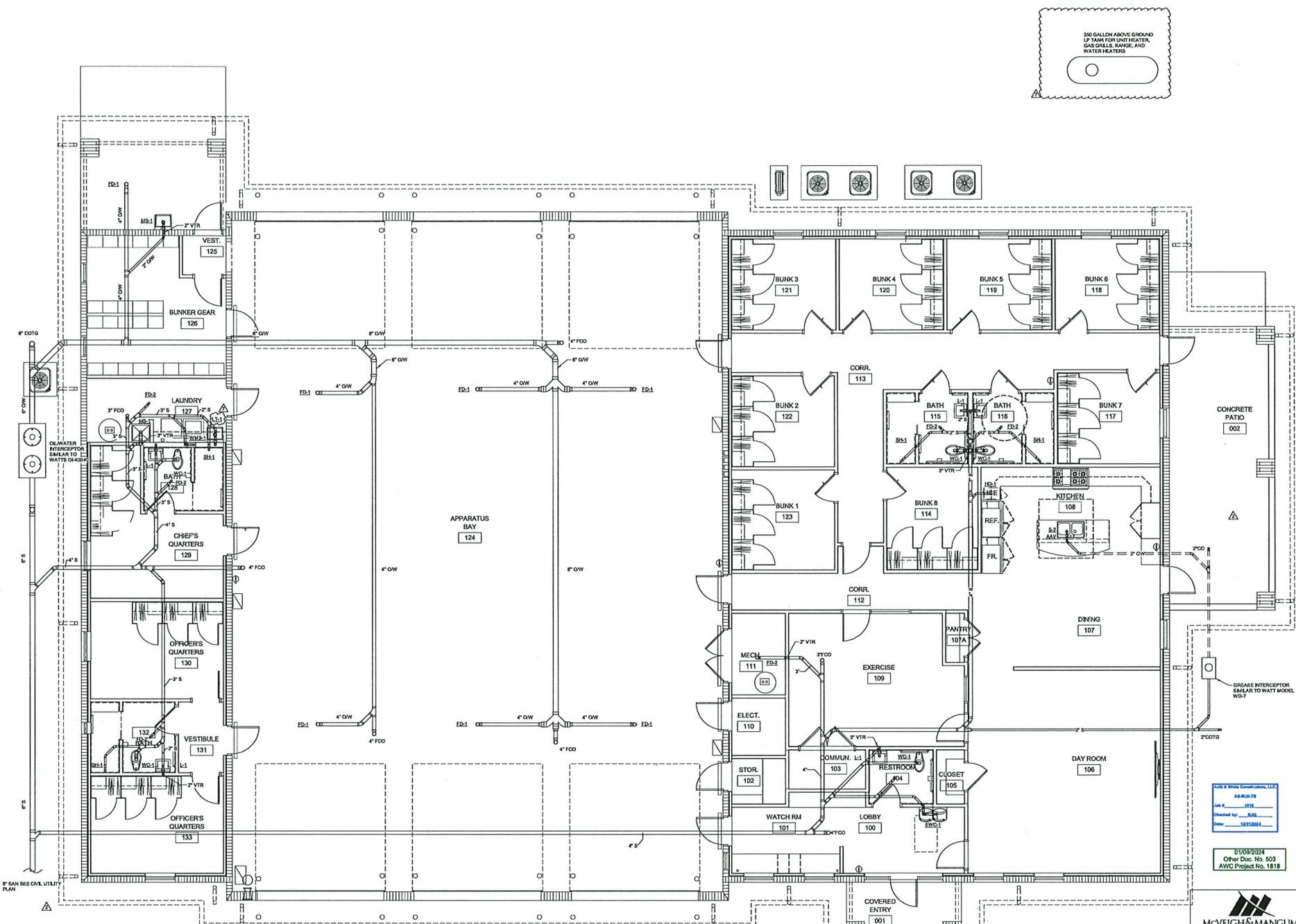
THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 26 JANUARY 2023

DRAWN BY: DDD CHECKED BY: DDD
PROJECT NO. 3722

SHEET
P-1.1



DRAINAGE, WASTE AND VENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

AS-BUILT
Date: 1/18/2024
Checked by: DDD
Date: 1/18/2024

01/08/2024
Other Doc. No. 503
AWC Project No. 1818

McVEIGH & MANGUM
ENGINEERING, INC.
www.McVEng.com
1111 S. Walker Parkway
Jacksonville, Florida 32218
Tel: 904.743.2200
Fax: 904.743.2201
Email: info@mcveighmangum.com
CA #00000000
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- REVISIONS
- | NO. | DATE | NOTES |
|-----|------------|--|
| 1 | 01/09/2024 | PROVIDE TP-2 FOR FLOOR DRAIN. |
| 2 | 01/09/2024 | UNDERGROUND CW LINE TO TRAP PRIMER CONNECTION ON FLOOR DRAIN. |
| 3 | 01/09/2024 | LP GAS LINE BELOW SLAB TO RANGE GAS CONNECTION. ENCASE UNDERGROUND GAS PIPING IN ASSESS SLAVE VENTED TO THE OUTSIDE. |
| 4 | 01/09/2024 | PROVIDE TP-2 FOR HUB DRAIN FROM ICE MAKER. |

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26004114

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 28 JANUARY 2023

DRAWN BY: DDD CHECKED BY: DDD
PROJECT NO. 3722

SHEET
P-1.2

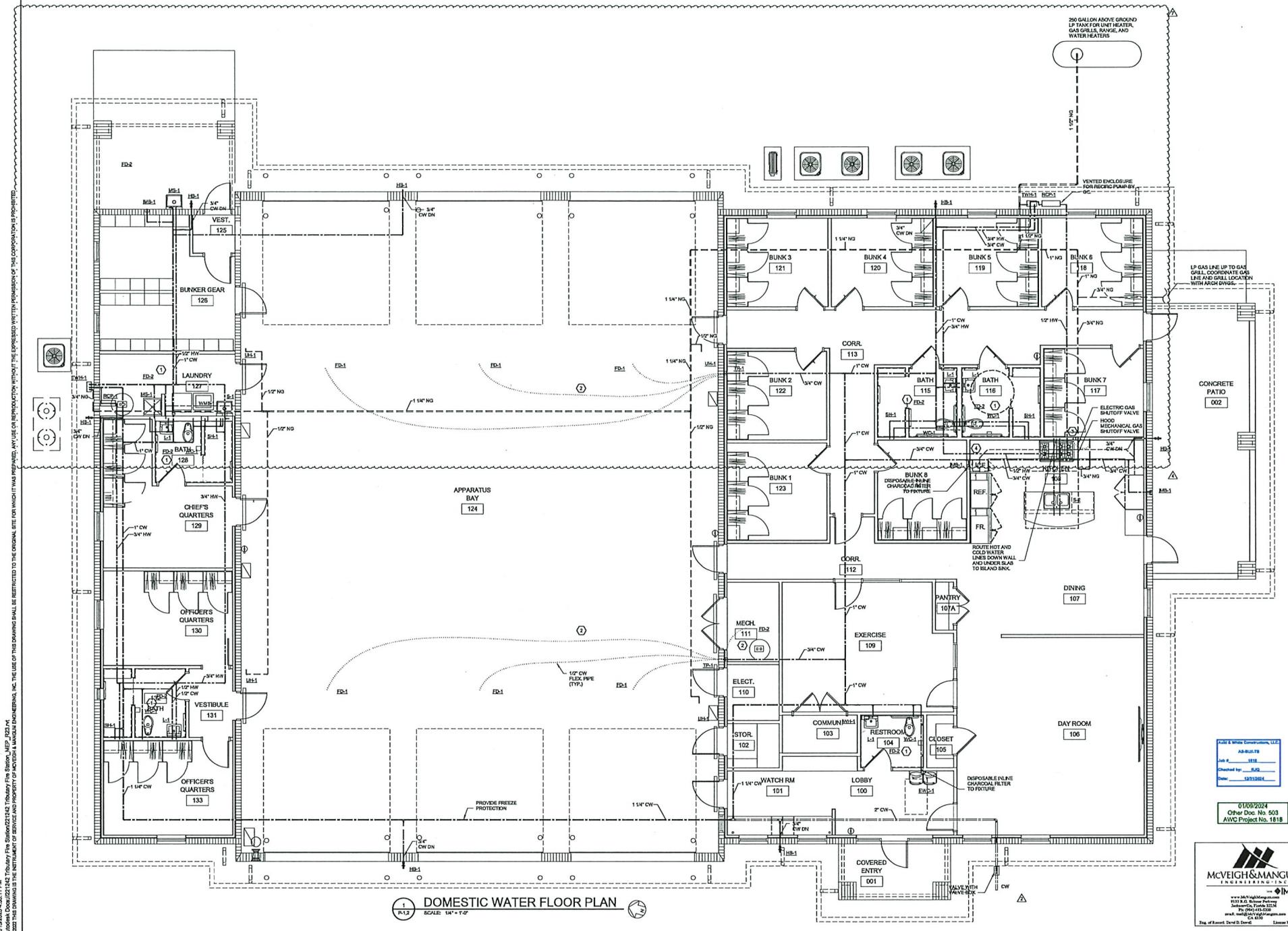


Table with 3 columns: NO., DATE, NOTES. Revision 1 is noted.

THOMAS DUKE ARCHITECT, P.A. 2345 HARPER STREET JACKSONVILLE, FLORIDA 32204 (904) 356-3335 LIC. PA. 26001414

NEW BUILDING FOR TRIBUTARY FIRE STATION EDWARDS ROAD NASSAU COUNTY, FLORIDA

PERMIT SET RELEASED FOR CONSTRUCTION DATE: 26 JANUARY 2023

DRAWN BY: ANM CHECKED BY: TCN PROJECT NO. 3722 SHEET E-0.1

GENERAL ELECTRICAL NOTES 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL ORDINANCES...

ELECTRICAL SYMBOL LEGEND WIRING SYSTEM CONCEALED IN WALL OR CEILING. DASHED LINES INDICATE WIRING RUN BELOW SLAB / GRADE. LOW VOLTAGE CONTROL WIRING SYSTEM CONCEALED IN WALL OR CEILING...

COMMUNICATIONS WIRING SYSTEM CONCEALED AT SAME HEIGHT AS ADJACENT RECEPTACLE. W/ CONDUIT STUBBED OUT ABOVE ACCESSIBLE CEILING. W/ IN WALL OR CEILING...

20230224_102228.PEM Thomas Duke Architect, P.A. Tributory Fire Station MEP - 3722-14. All design prior to 3/23/2024 was performed by IMEG under the responsible charge of Andrew M. May, PE #12105. All subsequent design by IMEG is under the responsible charge of Thomas C. Redburn, PE #64362.

DATE: 10/2/2024 Author: Doc No. 613 AWC Project No. 1618

07/02/2024 Other Doc No. 613 AWC Project No. 1618

McVEIGH & MANGUM ENGINEERING, INC. 1111 S.W. 8th Avenue, Suite 200, Ft. Lauderdale, FL 33304

All design prior to 3/23/2024 was performed by IMEG under the responsible charge of Andrew M. May, PE #12105. All subsequent design by IMEG is under the responsible charge of Thomas C. Redburn, PE #64362.

ELECTRICAL ABBREVIATIONS table with columns for symbol and description, listing various electrical components like AMPERE, AUTOMATIC TRANSFER SWITCH, etc.

BRANCH CIRCUIT VOLTAGE DROP TABLE with columns for branch circuit type, conductor size, and maximum length for various voltage drops.

GENERAL SYMBOLS table with symbols for plan or detail no., keyed note to plan, revision number, and north arrow.

LIGHTING FIXTURE SCHEDULE table with columns for mark, manufacturer, catalog number, lamp, fixture type, voltage, wattage, mounting, and description.

- LIGHTING FIXTURE SCHEDULE NOTES: 1. CATALOG NUMBERS AND MANUFACTURERS ARE TO INDICATE TYPE AND QUALITY OF FIXTURE DESIRED... 2. ALL FLUORESCENT LAMPS SHALL BE ENERGY SAVING TYPE...

LIGHTING SYSTEMS COMMISSIONING REQUIREMENTS

LIGHTING CONTROL SYSTEM SHALL UNDERGO FUNCTIONAL TESTING AS DESCRIBED BELOW. TESTING SHALL BE BY THE CONTRACTOR UNDER THE SUPERVISION OF A CERTIFIED REPRESENTATIVE OF THE LIGHTING CONTROL SYSTEMS MANUFACTURERS.

- DOCUMENT SENSOR CONTROLS: 1. CERTIFY THAT THE OCCUPANT SENSORS HAVE BEEN LOCATED AND ADJUSTED FOR PROPER COVERAGE OF THE INTENDED AREA... 2. FOR PROJECTS WITH SEVEN OR FEWER OCCUPANT SENSORS, EACH SENSOR SHALL BE TESTED...

- FOR OCCUPANT SENSOR CONTROLS TO BE TESTED, VERIFY THE FOLLOWING: 1. WHERE OCCUPANT SENSOR CONTROLS INCLUDE STATUS INDICATORS, VERIFY CORRECT OPERATION... 2. THE CONTROLLED LIGHTS TURN OFF OR DOWN TO THE PERMITTED LEVEL WITHIN THE REQUIRED TIME...

- THE SWITCH CONTROLS: 1. CONFIRM THAT THE TIME-SWITCH CONTROL IS PROGRAMMED WITH ACCURATE WEEKDAY, WEEKEND AND HOLIDAY SCHEDULES... 2. PROVIDE DOCUMENTATION TO THE OWNER OF THE SWITCH CONTROLS PROGRAMMING INCLUDING WEEKDAY, WEEKEND, HOLIDAY SCHEDULES...

- DAYLIGHT RESPONSIVE CONTROLS: 1. CONTROL DEVICES HAVE BEEN PROPERLY LOCATED, FIELD CALIBRATED AND SET FOR ACCURATE SETPOINTS AND THRESHOLD LIGHT LEVELS... 2. DAYLIGHT CONTROLLED LIGHTING LOADS ADJUST TO LIGHT LEVEL SETPOINTS IN RESPONSE TO AVAILABLE DAYLIGHT...

- EXTERIOR LIGHTING CONTROLS: 1. PHOTOCELL SENSORS HAVE BEEN PROPERLY LOCATED, FIELD CALIBRATED AND SET FOR ACCURATE SETPOINTS AND THRESHOLD LIGHT LEVELS... 2. THE PHOTOCELLS SHALL BE SHADDED AS DESCRIBED ABOVE...

- AS-BUILT DOCUMENTATION: DOCUMENTS CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET THE DOCUMENTED PERFORMANCE CRITERIA OF THE ENERGY CODE SECTION 605.5 SHALL BE PROVIDED IN THE PROJECT AS-BUILT DOCUMENTATION... DELIVERY OF AS-BUILT DOCUMENTATION SHALL BE PROVIDED TO THE BUILDING OWNER WITHIN 30 DAYS FROM THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

REVISIONS table with columns for NO., DATE, and NOTES. Includes Thomas Duke Architect, P.A. contact information.

NEW BUILDING FOR TRIBUTARY FIRE STATION EDWARDS ROAD NASSAU COUNTY, FLORIDA

PERMIT SET RELEASED FOR CONSTRUCTION DATE: 28 JANUARY 2023

DRAWN BY: AXM CHECKED BY: TCN PROJECT NO. SHEET E-0.2

McVeigh & Mangum, LLC AS-BUILT SHEET

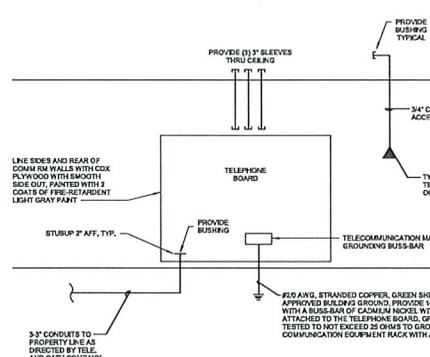
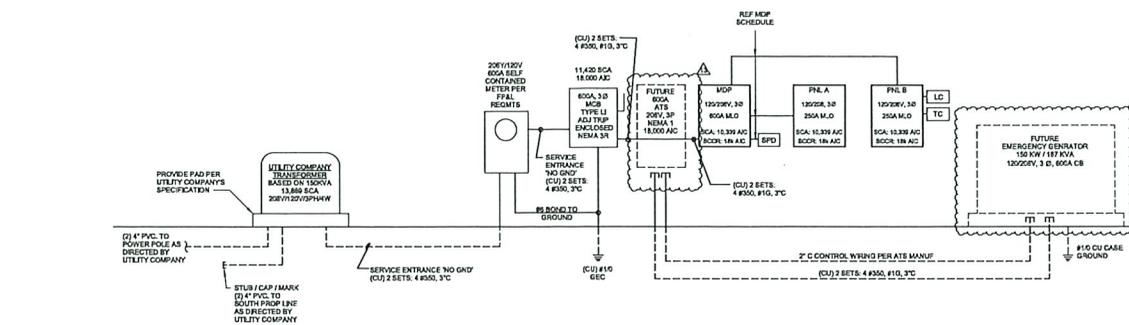
03/04/2024 Other Desc. No. 507 AWC Project No. 1818

McVEIGH & MANGUM ENGINEERS, INC. IMEG logo and contact information.

1/2024, 8/2023, 7/2022, 7/2021, 7/2020, 7/2019, 7/2018, 7/2017, 7/2016, 7/2015, 7/2014, 7/2013, 7/2012, 7/2011, 7/2010, 7/2009, 7/2008, 7/2007, 7/2006, 7/2005, 7/2004, 7/2003, 7/2002, 7/2001, 7/2000, 7/1999, 7/1998, 7/1997, 7/1996, 7/1995, 7/1994, 7/1993, 7/1992, 7/1991, 7/1990, 7/1989, 7/1988, 7/1987, 7/1986, 7/1985, 7/1984, 7/1983, 7/1982, 7/1981, 7/1980, 7/1979, 7/1978, 7/1977, 7/1976, 7/1975, 7/1974, 7/1973, 7/1972, 7/1971, 7/1970, 7/1969, 7/1968, 7/1967, 7/1966, 7/1965, 7/1964, 7/1963, 7/1962, 7/1961, 7/1960, 7/1959, 7/1958, 7/1957, 7/1956, 7/1955, 7/1954, 7/1953, 7/1952, 7/1951, 7/1950, 7/1949, 7/1948, 7/1947, 7/1946, 7/1945, 7/1944, 7/1943, 7/1942, 7/1941, 7/1940, 7/1939, 7/1938, 7/1937, 7/1936, 7/1935, 7/1934, 7/1933, 7/1932, 7/1931, 7/1930, 7/1929, 7/1928, 7/1927, 7/1926, 7/1925, 7/1924, 7/1923, 7/1922, 7/1921, 7/1920, 7/1919, 7/1918, 7/1917, 7/1916, 7/1915, 7/1914, 7/1913, 7/1912, 7/1911, 7/1910, 7/1909, 7/1908, 7/1907, 7/1906, 7/1905, 7/1904, 7/1903, 7/1902, 7/1901, 7/1900, 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FAC 81615-32 FIRE PROTECTION (ALARM) CRITERIA	
61615-32.008	
(1) OVERALL DESCRIPTION:	PROVIDE SUPERVISION OF FIRE SPRINKLER SYSTEM VIA TAMPER AND FLOW SWITCHES. PROVIDE SUPERVISION OF THE FIRE ALARM CONTROL PANEL'S POWER FROM BOTH THE DESIGNATED 120VAC LINE AND THE INTERNAL BATTERY LINE. PROVIDE ACTIVATION OF ALL DOORS FOR SAFE EGRESS FROM THE BUILDING WHEN IN ALARM. PROVIDE ANNUNCIATION OF THE FIRE ALARM SYSTEM VIA AUDIBLE/VISUAL DEVICES LOCATED THROUGHOUT NORMALLY OCCUPIED SPACES.
(2) GOVERNING CODES:	THE FIRE ALARM SYSTEM SHALL MEET ALL OF THE REQUIREMENTS OF THE LATEST APPLICABLE EDITIONS OF THE FLORIDA BUILDING CODE, THE FLORIDA FIRE PREVENTION CODE, NFPA 72, ADA, AND ALL LOCAL, NATIONAL, AND INTERNATIONAL CODES. THE FIRE ALARM SYSTEM SHALL MEET ALL OF THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.
(3) MINIMUM SYSTEM REQUIREMENTS:	THE ENGINEERING DRAWINGS CONTAINED HEREIN IDENTIFY MINIMUM FIRE ALARM SYSTEM REQUIREMENTS. ALL FIRE ALARM SWITCHES, HOZES, AND WIRING SHALL BE PROVIDED BY THE FIRE ALARM SUB-CONTRACTOR. THE FIRE ALARM SYSTEM SUB-CONTRACTOR SHALL BE RESPONSIBLE TO SUBMIT DETAILED SYSTEM DRAWINGS, CONNECTIONS, WIRING DIAGRAMS, ETC. AS REQUIRED FOR FINAL PERMITTING.
(4) USAN REQUIREMENTS:	MINIMUM SYSTEM REQUIREMENTS ARE SHOWN ON THE ENGINEERING DRAWINGS CONTAINED HEREIN. <ul style="list-style-type: none"> a. SYMBOLS LEGEND IS LOCATED ON USAN. SYSTEM WIRING DIAGRAM WITH INTINATION AND NOTIFICATION COMPONENTS AND CONNECTIONS IS LOCATED IN DETAIL 3. THIS SHEET. ANY PRE-TREATED WALLS HAVE BEEN INDICATED BY LINE-TYPE OF THE WALLS ON THE PLANS. THE GENERAL OCCUPANCY IS MIXED USE RESIDENTIAL R1 AND STORAGE S1 WITH OCCUPANTS. THE CONSTRUCTION TYPE IS I-2 AS PER SECTION 1905.01. b. LOCATIONS OF INTINATION AND NOTIFICATION DEVICES AND CONNECTIONS TO RELATED SYSTEMS ARE SHOWN IN PLAN VIEW. EXTERIOR BELL OR OTHER AUDIBLE DEVICES REQUIRED BY NFPA 72 SHALL BE PROVIDED AT LOCATION ACCEPTABLE TO THE FIRE MARSHAL. ADDITIONAL DEVICES SHALL BE INCLUDED IN THE BID AND PROVIDED AS DIRECTED BY THE FIRE MARSHAL. c. STROBE INTENSITY AND AUDIBLE OUTPUT RATINGS FOR ALL NOTIFICATION DEVICES ARE 75db AND 85dbA LOK. STROBES MAY BE USED IN SLEEPING ROOMS OR SLEEPING AREAS. LOWER VISUAL INTENSITIES THAN THOSE ALLOWED AS LONG AS THE ENTIRE NORMALLY OCCUPIED SPACE IS COVERED ACCORDING TO NFPA 72 VISUAL DEVICE CHARACTERISTICS. THE VISUAL AND AUDIBLE INTENSITY SHALL BE INCREASED WHERE THERE IS OBSTRUCTION TO COMPLETE COVERAGE OF NORMALLY OCCUPIED SPACE. IN SLEEPING AREAS, THE AUDIBLE BUILDING EVACUATION ALARM SHALL BE 50db WITH 48db AS REQUIRED BY NFPA 72. IN SLEEPING AREAS, ANY VISIBLE NOTIFICATION DEVICE SHALL BE WITHIN 8 FEET OF THE FLOOR AND OTHER CR. IF WALL LOCATED 2 FT OR MORE AWAY FROM THE CEILING, 10db. d. INTINATION DEVICES, SIGNAL LINE CIRCUITS, AND NOTIFICATION APPLIANCE CIRCUITS SHALL BE CLASS B. ANY MAGNETIC COILS OR MAGNETIC COILS SHALL BE CLASS B. e. THE ALARM SYSTEM SHALL RECEIVE INTINATION SIGNALS AND PROVIDE NOTIFICATION SIGNALS AS SHOWN IN THE FIRE ALARM RISE AND OPERATIONS MATRICES. THE TRANSMISSION OF EMERGENCY SIGNALS SHALL BE BY CELLULAR SERVICE TO A LISTED CENTRAL STATION. ALL ALARM, TROUBLE AND SUPERVISORY CONDITIONS SHALL BE TRANSMITTED TO THE CENTRAL STATION. f. THE FIRE ALARM SYSTEM TYPE SHALL BE ADDRESSABLE, 3VDC, POWER LIMITED, FULLY SUPERVISED, WITH A MINUTE ALARM, 24 HOUR TAMPERS BY BATTERY SYSTEM. g. BURGLAR PROTECTIVE DEVICES SHALL BE LOCATED ON THE INCOMING AC POWER (ADJACENT TO ONE WITHIN THE PANEL) AND THE POINT OF ENTRY TO THE BUILDING FOR ANY EXTERIOR CIRCUITS. h. THE FIRE ALARM CONTROL PANEL SHALL BE LOCATED IN 20' TO 15'4" NON-CONDENSING, ANY OUTDOOR NOTIFICATION DEVICES SHALL BE WEATHER PROOF. i. A SITE PLAN HAS BEEN PROVIDED ON E-1. j. SMOKE DETECTION IS REQUIRED FOR THE BUILDING AT THE FIRE ALARM CONTROL PANEL AND HVAC SYSTEMS OVER 3000 CFM. SMOKE DETECTION IS REQUIRED AT SLEEPING ROOMS, SYSTEM BASKET DETECTORS WITH SMOKE BASE ALARM NOTIFICATION ARE ALLOWED NOTIFICATION OF SMOKE ALARMS. k. SMOKE STRATIFICATION IS NOT APPLICABLE TO THIS CONSTRUCTION. l. THIS PERFORMANCE BASED CRITERIA SHALL PROVIDE THE BASIS FOR THE FULL FIRE ALARM PERMIT DOCUMENTS AND MEET THE LOCAL AGENCY REQUIREMENTS. NOTE THAT FIRE ALARM PLANS SUBMITTED HEREIN FOR BUILDING PERMIT ARE NOT PART OF THE FIRE ALARM PERMIT RECORD. A SEPARATE SUBMITTAL AND PERMIT IS REQUIRED TO BE PROVIDED BY THE CONTRACTOR FOR THE FIRE ALARM SYSTEM MEETING ALL OF THE LOCAL AGENCY REQUIREMENTS. IF REQUIRED BY THE LOCAL FIRE AGENCY, PERMIT DRAWINGS SHALL BE RE-DESIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. m. THE CONSTRUCTION IS NOT HIGH-RISE OR MULTI-TENANT. THE ENTIRE BUILDING SHALL HAVE A GENERAL EVACUATION SIGNAL. n. WIRING FOR UNDERSTANDING AND WET LOCATIONS SHALL BE AS RECOMMENDED BY THE MANUFACTURER. ANY EXTERIOR CIRCUITS SHALL BE INSTALLED IN CONDUIT, MINIMUM 18" BELOW GRADE WITH SMOKE MANSUET WIRING ABOVE THE CONDUIT. o. OPERATION AND MAINTENANCE PROCEDURES AND MANUALS ARE INDICATED IN THE FIRE ALARM SPECIFICATIONS. VENDOR TO PROVIDE FULL OPERATION & MAINTENANCE MANUALS AND ASSEMBLY PLANS FOR OWNERS FUTURE USE. VENDOR TO SUBMIT TO OWNER PROPOSED CONDUIT FOR REQUIRED MANUAL TESTING OF THE SYSTEM. A MINIMUM OF TWO, ONE-HOUR ON-SITE TRAINING SESSIONS FOR SYSTEM OPERATION SHALL BE PROVIDED TO THE OWNER.
(5) INTERNAL BATTERY VOLTAGE DROP RESPONSIBILITY:	THE FIRE ALARM PERFORMER SHALL INDICATE THE WIRING TO BE PROVIDED, BATTERY AND VOLTAGE DROP (CIRCUIT ANALYSIS) CALCULATIONS SHALL APPLY THE MANUFACTURERS DATA AND APPLICABLE NFPA 72 PROCEDURES.
(6) SYSTEM TEST REQUIREMENTS:	VENDOR SHALL FULLY TEST AND VERIFY THE FIRE ALARM SYSTEM DOCUMENTED PROPER FUNCTION OF ALL DEVICES, INTERLOCKS, PROGRAMMING AND COMMUNICATIONS PROVIDING A FIRE ALARM SYSTEM RECORD OF COMPLETION AS REQUIRED BY NFPA 72, CHAPTER 10.
(7) SPECIAL SYSTEM REQUIREMENTS:	THERE ARE NO DANGER, INSURANCE UNDERWRITER, OR LOCAL FIRE CODE AMENDMENTS REQUIRED FOR THIS CONSTRUCTION.

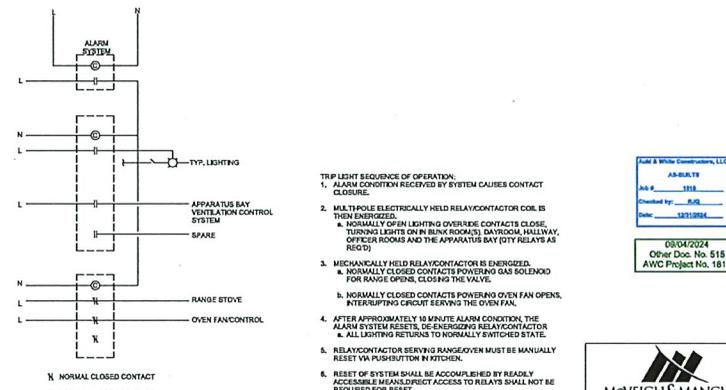
POWER RISER DIAGRAM
SCALE: NTS



COMMUNICATION RISER DIAGRAM
SCALE: NTS

- FIRE ALARM SYSTEM NOTES:**
- CONTROL PANEL SHALL BE NON-PROFITARY, SILENT KNIGHT, OR APPROVED EQUAL ALLOWED.
 - ALL TAMPER AND FLOW SWITCH CONNECTION LOCATIONS TO BE FIELD VERIFIED WITH SPRINKLER SUB-CONTRACTOR AS NEEDED.
 - COORD. WITH M.C. TO PROVIDE SHUTDOWN INTERLOCK WIRING TO RESPECTIVE AHU AS REQUIRED.
 - COORDINATE DUAL LINE TELEPHONE CONNECTION FOR UL LISTED CENTRAL STATION MONITORING.
 - PROVIDE DUCT DETECTOR INDICATING PLATE ON CEILING GRID UNDER EACH RESPECTIVE DUCT DETECTOR LOCATION. ADDRESSABLE PANEL DISPLAY TO NOTE ROOM NUMBER FOR ALL DEVICES.
 - PROVIDE SHUNT INTERLOCK WITH ANY PA SOUND SYSTEMS FOR SYSTEMS SHUT DOWN UPON FIRE ALARM CONDITION.
 - PROVIDE MONITORING OF KITCHEN HOOD FIRE SUPPRESSION SYSTEM.
 - PROVIDE INTERLOCK WITH ANY MARK GAS SOLENOID VALVE TO SHUT DOWN GAS UPON

FIRE ALARM RISER DIAGRAM
SCALE: NTS



TRIP LIGHT CONTROL SYSTEM
SCALE: NTS



FIRE ALARM SYSTEM SEQUENCE OF OPERATIONS	FIRE ALARM SYSTEM RESPONSE			
	CONTROL UNIT ANNUNCIATION	NOTIFICATION	FIRE SAFETY CONTROL	
SYSTEM INPUTS				
MANUAL FIRE ALARM PULL STATION				
SMOKE DETECTOR				
HEAT DETECTOR				
DUCT DETECTOR				
SPRINKLER WATERFLOW				
PRESSURE SWITCH				
SPRINKLER TAMPER				
FIRE ALARM AC POWER FAILURE				
FIRE ALARM SYSTEM LOW BATTERY				
OPEN CIRCUIT				
GROUND FAULT				
NOTIFICATION APPLIANCE CIRCUIT SHORT				
MANUAL AND SHUTDOWN AND SMOKE CHAMBER SWITCH				
ADDRESSABLE SMOKE/CARBON MONOXIDE DETECTOR IN SLEEPING ROOM				

FIRE RESCUE MINIMUM RADIO SIGNAL STRENGTH REQUIREMENT:

IN-BUILDING PUBLIC SAFETY RADIO SYSTEM ENHANCEMENT SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH 2018 IFC SECTION 910, 2018 NFPA 1 CHAPTER 11.10, 2018 NFPA 72.4.3.13.A, 2018 NFPA 1251, AND IFC SHOULD BE THE FIRE DEPARTMENT COMMUNICATIONS RADIO SIGNAL STRENGTH NOT BE ACHIEVED TO THE LEVEL SATISFACTORY TO THE AML.

THE CONTRACTOR SHALL PERFORM SIGNAL STRENGTH DETERMINATION TEST AFTER WALLS & ROOF ARE CONSTRUCTED PRIOR TO FIRST WORK. THE FOLLOWING MUST BE PROVIDED:

- A MINIMUM STRENGTH OF 46 dbm AVAILABLE IN 85% OF THE BUILDING AREA (OUTBOUND DESCRIBED)
- A MINIMUM STRENGTH OF 46 dbm AVAILABLE IN 95% OF THE BUILDING AREA (OUTBOUND DESCRIBED)

IF REQUIRED TO BE PROVIDED, THE ENHANCEMENT SYSTEM SHALL INCLUDE:

- FEEDING
- LOADING/UNLOADING PROTECTION AS REQUIRED BY AUI
- 24 HOUR BACKUP BATTERY OR LINE BATTERY PDC NO GENERATOR
- FREQUENCY RANGE OF 800-915 MHz OR AS REQUIRED BY THE LOCAL AUI
- SYSTEM COMMISSIONING TEST PRIOR TO FINAL ACCEPTANCE TEST WITH ALL THE COMMANDS ON TEST SHALL FOLLOW MANUFACTURERS RECOMMENDATIONS AND BE PROVIDED TO COUNTY FIRE RESCUE DEPT. PRIOR TO FINAL ACCEPTANCE.

NOTES:

- VERIFY EXACT REQUIREMENTS WITH THE LOCAL AUI.
- ENGINEERS OF RECORD SHALL BE RESPONSIBLE FOR ESTABLISHMENT OF FULL FAC 81615-32 FIRE ALARM CRITERIA

REVISIONS

NO.	DATE	NOTES
1	12/15/24	REVISION 1
11	02/01/25	REVISION 11
12	02/01/25	OWNER PROVIDED GENERATOR AND ITS REVISION

THOMAS DUKE ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26004114

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 28 JANUARY 2025

08/04/2024
Over Doc. No. 519
AWC Project No. 1818

AWC PROJECT NO. 1818

AWC PROJECT NO. 1818

AWC PROJECT NO. 1818

DRAWN BY: AUM
PROJECT NO.: 3722
CHECKED BY: TCN
SHEET
E-0.3

McVEIGH & MANGUM ENGINEERING, INC.
1111 S. W. 10th Ave.
Jacksonville, FL 32209
Tel: 904.744.1111
Fax: 904.744.1112
www.mcveighmangum.com

AWC PROJECT NO. 1818

04/22/24, 2:22:54 PM
 Location: D:\2024\24-321\24-321-01\24-321-01.dwg
 User: TD
 Plot: 24-321-01.dwg
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 Plot Author: TD
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REVISIONS		
NO.	DATE	NOTES
1	02/26/2024	REVISED
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8	02/26/2024	REVISED
9	02/26/2024	REVISED
10	02/26/2024	REVISED
11	02/26/2024	OWNER APPROVED GENERATOR AND ATE REVISION

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. P.A.A. 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

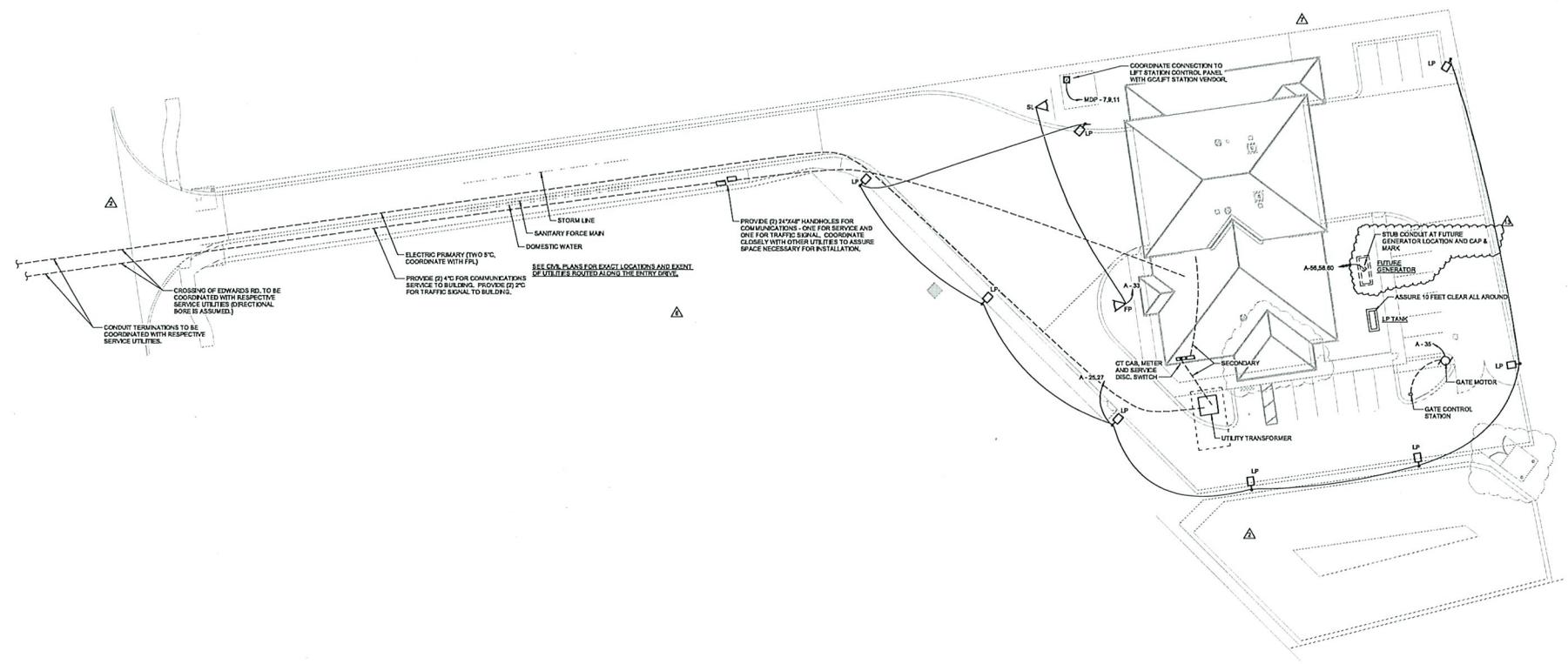
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DRAWN BY: AJM | CHECKED BY: TCN
PROJECT NO. 3722

SHEET
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- GENERAL NOTES
- A. COORDINATE WITH SERVING UTILITIES FOR ALL ELECTRICAL, PHONE AND CABLE SERVICE INSTALLATION REQUIREMENTS.
 - B. COORDINATE WITH THE SITE CONTRACTOR TO VERIFY ALL ROUTES OF UTILITIES PRIOR TO THE START OF WORK FOR COORDINATED INSTALL.
 - C. COORDINATE POLE LOCATIONS WITH UTILITIES TO BE ROUTED NEARBY.
 - D. ALL EXTERIOR LIGHTING SHALL BE PROVIDED WITH DUSK-TO-DAWN CONTROL LOGIC.
 - E. NOT USED.
 - F. PROVIDE GENERATOR AND LP TANK WITH PROTECTIVE BOLLARDS AS NEEDED.



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ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

All design prior to 3/22/2024 was performed by IMEG under the responsible charge of Andrew M. May, P.E. #12102. All design and design by IMEG is under the responsible charge of Thomas C. Mendenhall, P.E. #24362.



McVEIGH & MANGUM ENGINEERING, LLC
ARCHITECT
JOB # 3722
Checked by: AJM
Date: 1/23/2024

02/26/2024
Other Disc. No. 615
AWC Project No. 1818

REVISIONS

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THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

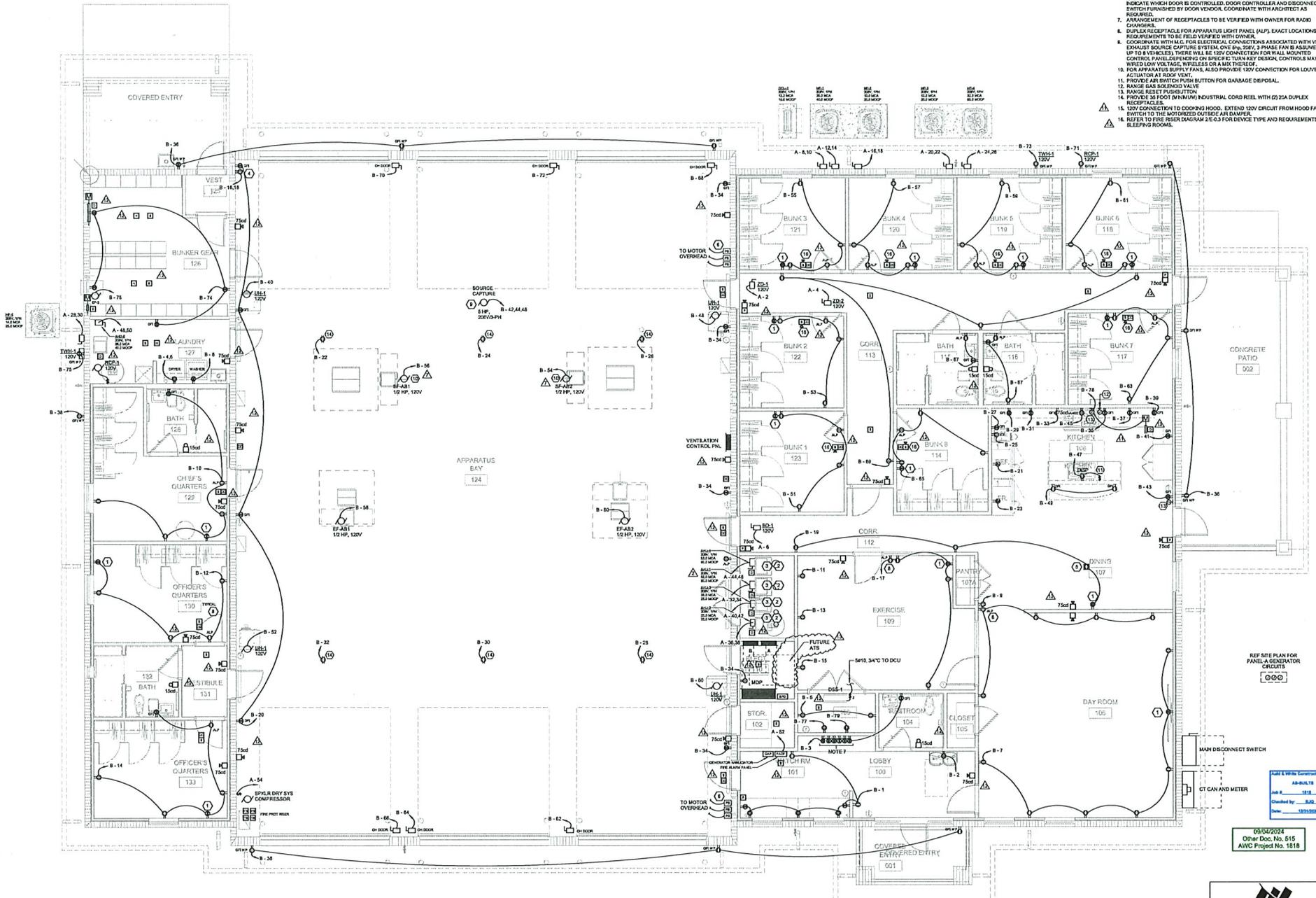
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E-1.2

- KEY NOTES:
- COORDINATE AND VERIFY HEIGHT WITH TV OUTLET.
 - PROVIDE LOCK CONNECTION TO A/N MOTORIZED DAMPER.
 - PROVIDE LOCK-OFF ATTACHMENT FOR SERVING CIRCUIT BREAKER.
 - PROVIDE 50 AMP 250V TYPE WITH OWNER.
 - COORDINATE WITH OWNER FOR EXACT LOCATION AS REQUIRED.
 - FOR ALL ELECTRICAL CONNECTIONS, THE SECTIONAL OVERHEAD DOOR SUPPLIER AND WIRING, CONDUIT, AND INSTALLATION SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. COORDINATE WITH DOOR SUPPLIER AND OWNER FOR PROPER INSTALLATION AND OPERATION. PROVIDE NAMEPLATE TO INDICATE WHICH DOOR IS CONTROLLED. DOOR CONTROLLER AND DISCONNECT SWITCH FURNISHED BY DOOR VENDOR. COORDINATE WITH ARCHITECT AS REQUIRED.
 - ARRANGEMENT OF RECEPTACLES TO BE VERIFIED WITH OWNER FOR RADIO CHARGERS.
 - DUPLEX RECEPTACLE FOR APPARATUS LIGHT PANEL (ALP). EXACT LOCATIONS AND REQUIREMENTS TO BE FIELD VERIFIED WITH OWNER.
 - COORDINATE WITH M.C. FOR ELECTRICAL CONNECTIONS ASSOCIATED WITH VEHICLE EXHAUST SOURCE CAPTURE SYSTEM. ONE (1) 55A, 3 PHASE FAN IS ASSIGNED FOR UP TO 8 VEHICLES. THERE WILL BE 120V CONNECTION FOR WALL MOUNTED CONTROL PANEL. RECEPTACLES OR SPECIFIC TURNKEY DESIGN CONTROLS MAY BE WIRED LOW VOLTAGE, WIRELESS OR A MIX THEREOF.
 - FOR APPARATUS SUPPLY FANS, ALSO PROVIDE 120V CONNECTION FOR LOW VOLT ACTUATOR AT ROOF VENT.
 - PROVIDE AIR DRAFT PUSH BUTTON FOR GARBAGE DISPOSAL.
 - RANGE GAS SOLENOID VALVE.
 - RANGE EXIST INSULATION.
 - PROVIDE 35 FOOT (MINIMUM) INDUSTRIAL CORD REEL WITH (2) 25A DUPLEX RECEPTACLES.
 - 120V CONNECTION TO COOKING HOOD. EXTEND 120V CIRCUIT FROM HOOD FAN SWITCH TO THE MOTORIZED OUTSIDE AIR DAMPER.
 - REFER TO FIRE RISER DIAGRAM 2E-6.3 FOR DEVICE TYPE AND REQUIREMENTS IN SLEEPING ROOMS.



POWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

All design prior to 3/22/2024 was performed by MEG under the responsible charge of Andrew M. May, PE #11018. All design and design by MEG is under the responsible charge of Thomas C. Duke, PE #56432.



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- REVISION NOTES
- ① PROVIDE FIRE DEPARTMENT CONNECTIONS WITH KNIX LOCKING CAPS.
 - ② THE FIC TO BE REMOTE LOCATED AWAY FROM THE BUNKING CORRIDOR LOCATED AT 111A.
 - ③ INSTALL DRY HEADS AT COVERED ENTRIES.

NO.	DATE	NOTES
1	01/20/23	REVISION 1
2	02/02/23	REVISION 2
3	12/15/23	REVISION 3
4	02/22/24	REVISION 4
5	02/22/24	REVISION 5

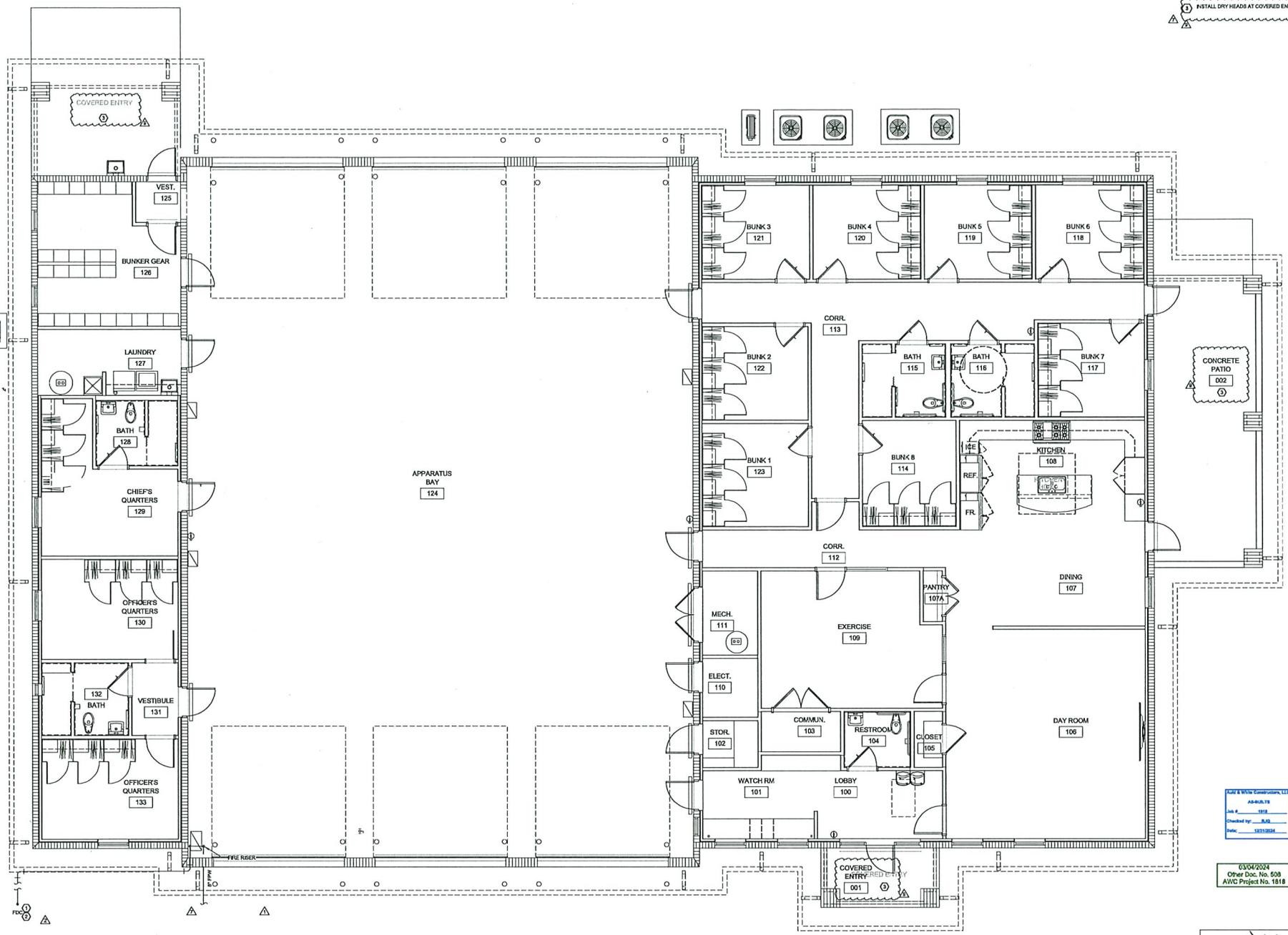
THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26004114

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

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DRAWN BY: DDD CHECKED BY: DDD
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SHEET
FP-1.1



1 FIRE PROTECTION FLOOR PLAN
FP-1.1 SCALE: 1/4" = 1'-0"

CH2 & BWH Constructors, LLC
AS-BUILT
Job # 1818
Checked by: BJD
Date: 01/23/2024

03/04/2024
Other Doc. No. 508
AWC Project No. 1818

McVEIGH & MANGUM
ENGINEERING, INC.
— IMEG —
www.McVeighMangum.com
1119 G. McNew Parkway
Jacksonville, Florida 32216
P: 904.451.1234
mcm@mcveighmangum.com
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- GENERAL TECHNICAL NOTES**
1. PROVIDE LOW VOLTAGE INSTALLATION IN ACCORDANCE WITH TIA 568, 568B, 568C, 568D, AND 568E AND THE NIS.
 2. ALL LOW VOLTAGE COPPER CABLES ENTERING OR EXITING THE BUILDING (INCLUDING THOSE RUNNING UNDERSLAB) SHALL BE PROVIDED WITH SURGE SUPPRESSION.
 3. LABEL ALL OUTLETS WITH LOCATION AND PATCH PANEL OF JACK IN COMMUNICATIONS ROOM LABEL ALL BACKWAYS TO INDICATE TERMINATION PORTS AT BOTH ENDS.
 4. 12" (MINIMUM) OF BLACK NEATLY COILED ABOVE ACCESSIBLE CEILING SHALL BE PROVIDED AT EACH OUTLET.
 5. SHOP DRAWING SUBMITTALS ARE ONLY REVIEWED FOR GENERAL CONFORMANCE WITH THE INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR MUST REVIEW AND APPROVE THE SHOP DRAWINGS PRIOR TO THEIR SUBMITTAL TO THE ARCHITECT/ENGINEER. SUBMITTALS WHICH DO NOT TIE TO THE CONTRACTOR'S SHOP DRAWING STAMP SHALL BE RETURNED WITHOUT REVIEW. ANY REQUESTED CHANGES TO THE CONTRACT DOCUMENTS SHALL BE COMMUNICATED IN WRITING PRIOR TO SUBMITTING THE SHOP DRAWINGS AND CLOSED ON THE SHOP DRAWINGS.
 6. COVER PLATE FINISHES SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO PURCHASING.
 7. UNMOUNTED CABLES WITHIN THE BUILDING IS PROHIBITED EXCEPT WHERE ALLOWED BY NEC ARTICLE 800. THE POINT OF ENTRANCE INTO THE BUILDING SHALL BE AS DEFINED BY ARTICLE 800.
 8. COORDINATE EXACT LOCATIONS OF CAMERAS WITH EXIT SIGNS TO ASSURE EXIT SIGNS REMAIN VISIBLE.
 9. LOW VOLTAGE CONTRACTOR SHALL INCLUDE IN BID IN MORE CABLE DROPS THAN SHOWN ON PLAN AND SHALL COORDINATE WITH THE GENERAL CONTRACTOR DURING CONSTRUCTION TO PROVIDE CABLE DROPS TO EQUIPMENT REQUIRING CABLEING.
 10. REFER TO E&I FOR LEGEND

TECHNICAL ABBREVIATIONS

A	APRIL
AF	ABOVE FINISHED FLOOR
AFB	ABOVE FINISHED GRADE
AL	ALUMINUM
ATS	AUTOMATIC TRANSFER SWITCH
AWG	AMERICAN WIRE GAUGE
D	DOWN
CR. CR. EXR	CROSSLINK BR/EXR
CLG	CEILING
CU	COPPER OR CONDENSING UNIT
DISC	DISCONNECT
EC	ELECTRICAL CONTRACTOR
EBR	EMERGENCY BREAKER
ELEV	ELEVATOR
EMLT	ELECTRICAL METAL LATH TUBING
ENT	ELECTRICAL NONMETALLIC TUBING
ERD	EMERGENCY RESPONSE
ES	EMERGENCY RESPONSE RADIUS COVERAGE SYSTEM
ES	ENERGY SAVING
EV	ELECTRIC VEHICLE CHARGER
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FPC	FIRE PUMP CONTROLLER
FSD	FIRE PUMP DAMPER
GEN	GENERATOR
GENP	GENERATOR ANNUNCIATOR AND CONTROL PANEL
GG	GROUNDING CONNECT
GEN	GENERATOR
GFI	GROUND FAULT CIRCUIT INTERRUPTER
HOA	HAND-OFF-AUTOMATIC
HP	HOTEL POWER
HT	HOT
IG	ISOLATED GROUND
JR JACK	JUNCTION BOX
JPC	JOCKEY PUMP CONTROLLER
KVA	KILOVAH AMPERE INTERRUPTING CAPACITY
KPH	THOUSAND CIRCULAR MILS
KVA	KILOVAH AMPERE
LC	LEADERSHIP CONTRACTOR
ME	MECHANICAL CONTRACTOR
MEB	MAIN BREAKER ENCLOSURE
MLO	MAIN LISTS ONLY
NLT	NIGHT LIGHT
NAC	NOTIFY CENTER APPLIANCE CABINET
NEC	NATIONAL ELECTRICAL CODE
NC	NOT IN CONTRACT
OC	ON CENTER
PAN	PANEL
PVC	POLYVINYLCHLORIDE (SCHEDULE 40, 40B)
SE	SEPARATE ENTRANCE
TBB	TELECOMMUNICATIONS BACKBONE BONDING
TGB	TELECOMMUNICATIONS GROUND BAR
TUSB	TELECOMMUNICATIONS WAREHOUSE BOARD
TR	TAMPER RESISTANT
TB	TELECOMMUNICATIONS TERMINAL BOARD
TYP	TYPICAL
UT	UTILITY DISCONNECT
UN	UNLESS OTHERWISE NOTED
V	VOLTS
V-LAMP	VOLT-LAMPERE
W	WATT
WP	WEATHERPROOF

GENERAL SYMBOLS

	PLAN OR DETAIL NO. SHEET NUMBER
	KEYED NOTE TO PLAN
	REVISION NUMBER
	NORTH ARROW

Audi & White Constructors, LLC.
 AS-BUILD
 Job # 1818
 Checked by: RJG
 Date: 1/25/2024

10/25/2023
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 AWC Project No. 1818



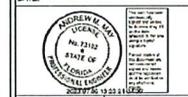
REVISIONS

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THOMAS DUKE
 ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. HAA 26901414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
 EDWARDS ROAD
 NASSAU COUNTY, FLORIDA

PERMIT SET
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DATE: 29 JANUARY 2023
 DRAWN BY: AMB CHECKED BY: TCN
 PROJECT NO. 3722
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KEYNOTES

1. THE ELECTRICAL/COMMUNICATIONS CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR NECESSARY FOR THE INSTALLATION AND TIE-IN OF THE COMPLETE INFRASTRUCTURE FOR VOICE/DATA COMMUNICATION INCLUDING, BUT NOT LIMITED TO, ALL CONDUITS, CABLES, WIRES, JUNCTION BOXES, DATA AND TELEPHONE OUTLETS, ACCESSORIES, DEVICES (APPLICABLE), PAGING, TRIP LIGHTING CONTROLS (RELAYS), CREW EMERGENCY AND NON-EMERGENCY NOTIFICATION AND DISPATCHING, DOOR BELL SYSTEMS, RESET BUTTONS, CLARION, SPEAKERS, COMMUNICATION EQUIPMENT RACKS AND BATTERIES, COMMUNICATION BACKBONE, ESD RITS, 110 BLOCKS, 6MM BLOCKS, 6MM2 BLOCKS, ETC. HOWEVER, THE CONTRACTOR SHALL NOT BE REQUIRED TO PROVIDE THE APPARATUS LIGHT PANELS (ALN), THE EDAS, AND THE HOSTING TELEPHONE SYSTEM INCLUDING TELEPHONE S, IN ADDITION, THE CONTRACTOR SHALL NOT BE REQUIRED TO PROVIDE THE FOLLOWING:
 - a. POWER SUPPLY UNITS
 - b. TONE GENERATORS
2. THE ELECTRICAL/COMMUNICATIONS CONTRACTOR SHALL PROVIDE PULL WIRE FOR ALL CONDUITS TO FACILITATE PULLING WIRES OR ADDITIONAL WIRES AND/OR CABLES OR ADDITIONAL CABLES SPECIFIED AND INSTALLED UNDER TELECOMMUNICATIONS INFRASTRUCTURE SPECIFICATIONS.
3. SLEEVES FOR CABLES ACROSS APPARATUS BAY
4. THE CONTRACTOR SHALL COORDINATE LOCATION OF ALL TELECOMMUNICATIONS INFRASTRUCTURE OUTLETS, DEVICES, EQUIPMENT AND ACCESSORIES WITH THE ENGINEER DURING THE SHOP DRAWING PREPARATION AND SUBMITTAL PHASE.
5. THE CONTRACTOR SHALL PROVIDE A COMPLETE DOOR EMERGENCY BELL SYSTEM INCLUDING BUT NOT LIMITED TO THE EMERGENCY BELL PUSHBUTTON, DOOR EMERGENCY BELLS, CONDUITS, WIRING, AMPLIFIER AND OTHER ACCESSORIES. THE DOOR BELL SYSTEM (NON-EMERGENCY) SHALL BE WIRED WITH INDOOR CEILING/WALL MOUNTED SPEAKERS INDOOR.
6. THE CONTRACTOR SHALL SUBMIT TELECOMMUNICATIONS (COMMUNICATIONS) SHOP DRAWINGS, MANUFACTURER'S LITERATURE, MATERIAL AND EQUIPMENT SAMPLES FOR APPROVAL BY THE ENGINEER AS REQUIRED.
7. LOCATION OF LIGHT PANEL (ALN), LIGHT PANELS SHALL BE MOUNTED OVER DOORS WHERE SHOWN ON PLAN AT 12" HEIGHT IN APPARATUS BAY AND AT 7'-4" HEIGHT AT ALL OTHER LOCATIONS, UNLESS OTHERWISE NOTED.
8. COORDINATE WITH ARCHITECT/OWNER FOR EXACT LOCATION AS REQUIRED.
9. THE CONTRACTOR SHALL MOUNT J-BOX FOR ANTENNA 4" UNDER ROOF EAVE.
10. THE CONTRACTOR SHALL MAKE PROVISIONS FOR CONNECTING BREAKERS AND CLAMPS TO SEPARATE TIMERS LOCATED IN COMMUNICATIONS ROOM. THE TIMERS BY OTHERS.
11. THE CONTRACTOR SHALL PROVIDE (1) MULTIPLE RELAY FOR ALL TRIP LOGS; COORDINATE WITH OWNER FOR EXACT LOCATION.
12. PROVIDE TWO (2) 3" SLEEVES ABOVE CEILING, BUILDINGS BOTH ENDS EACH.

REVISIONS		
NO.	DATE	NOTES
3	10/25/2023	REVISED

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26004114

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

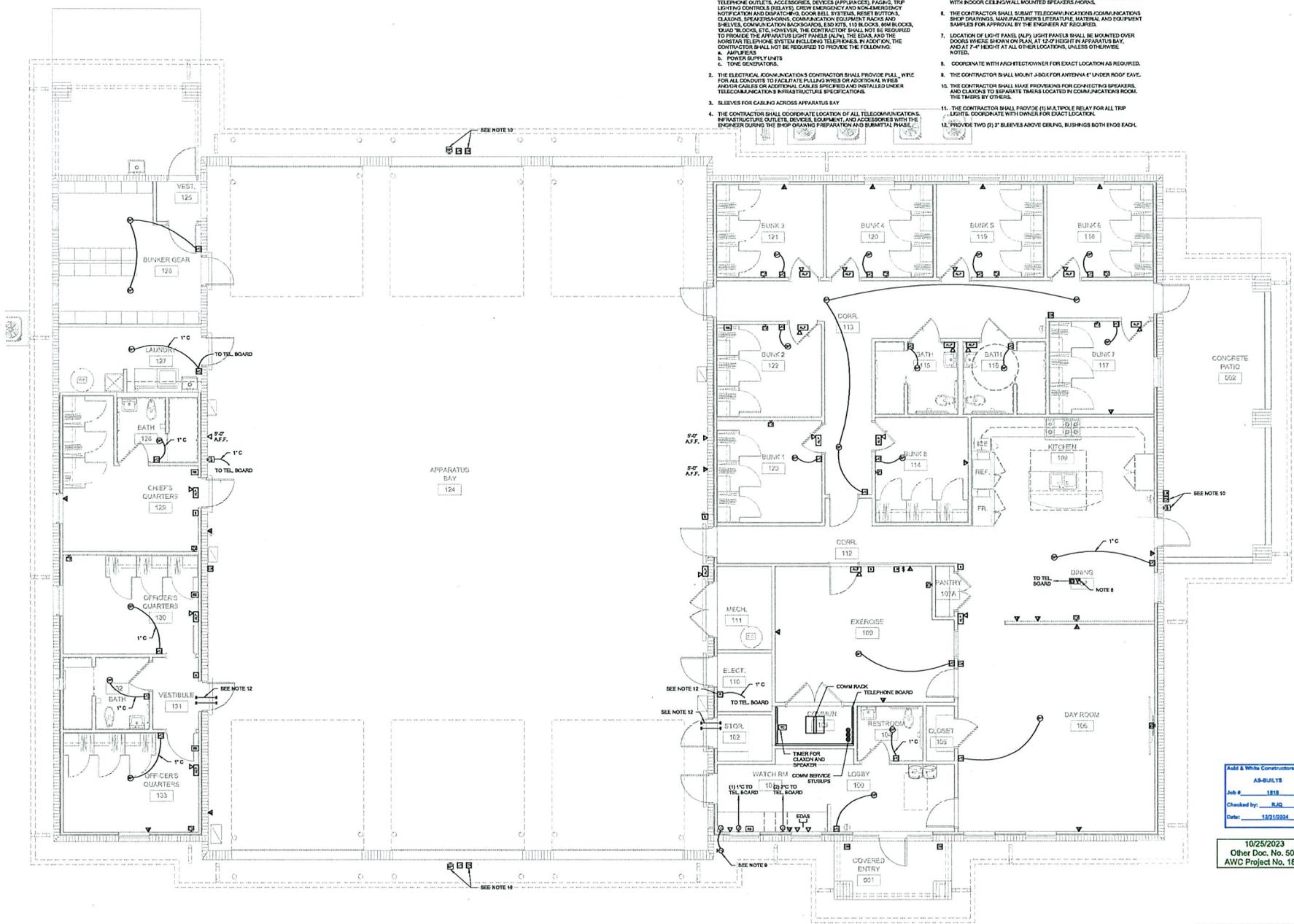
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TECHNOLOGY FLOOR PLAN
SCALE: 1/4" = 1'-0"

Add & White Constructors, LLC
AS-BUILTS
Job # 1818
Checked by: RJQ
Date: 10/12/2024

10/25/2023
Other Doc. No. 500
AWC Project No. 1818



LOUVER SCHEDULE table with columns for designation, location, function, dimensions, etc.

NOTES: 1. UNLESS NOTED TO BE OTHERWISE, FINISH TO BE SELECTED BY ARCHITECT. 2. LOUVER SHALL CARRY FLORIDA PRODUCT APPROVAL # 19277-1 AND MEAN-DOE NOM #19-0415.06.

ZONE DAMPER SCHEDULE table with columns for unit designation, manufacturer, model number, area served, etc.

INTAKE/RELIEF VENT SCHEDULE table with columns for mark, model, manufacturer, CFM, etc.

NOTES: 1. GALVANIZED ROOF CURB (MATCH ROOF FIT) 2. INSECT SCREEN 3. BACK DRAFT DAMPER (AUTOMATIC SHUTTER)

GAS UNIT HEATER SCHEDULE table with columns for designation, area served, manufacturer, model no., etc.

NOTES: 1. PROVIDE SPARK KNITTED INTERMITTENT SAFETY PILOT WITH ELECTRONIC FLAME SUPERVISION AND TIME LOCKOUT.

HEAT PUMP SPLIT SYSTEM SCHEDULE table with columns for system number, area served, manufacturer, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR. 2. E.G. TO PROVIDE AND INSTALL DISCONNECT SWITCH.

DUCTLESS DX SPLIT SYSTEM AIR CONDITIONER SCHEDULE table with columns for unit designation, location, manufacturer, etc.

NOTES: 1. ELECTRICAL TO PROVIDE DISCONNECT SWITCH FOR INDOOR AND OUTDOOR UNIT. 2. PROVIDE WALL MOUNTED WIRELESS PROGRAMMABLE THERMOSTAT WITH ADJUSTABLE AIRFLOW.

EXHAUST / SUPPLY FAN SCHEDULE table with columns for designation, location, manufacturer, model no., etc.

NOTES: 1. LIGHT SWITCH 2. MANUAL WALL SWITCH 3. SEE SEQUENCE OF OPERATION ON DRAWING M-1.1.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-1 table with columns for room name, area, occupancy, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-2 table with columns for room name, area, occupancy, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-3 table with columns for room name, area, occupancy, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-4 table with columns for room name, area, occupancy, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR.

ASHRAE 62.1-2010 VENTILATION CALCULATION AHU-5 table with columns for room name, area, occupancy, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR.

ASHRAE 62.1-2010 VENTILATION CALCULATION SF-AB1,2 & EF-AB1,2 table with columns for room name, area, occupancy, etc.

NOTES: 1. PROVIDE AHU WITH SINGLE POINT POWER CONNECTION. COORDINATE WITH ELECTRICAL CONTRACTOR.

THOMAS DUKE ARCHITECT, P.A. 2345 HARPER STREET JACKSONVILLE, FLORIDA 32204 (904) 356-3335 LIC. #AA 2600414

NEW BUILDING FOR TRIBUTARY FIRE STATION NASSAU COUNTY, FLORIDA

PERMIT SET RELEASED FOR CONSTRUCTION DATE: 26 JANUARY 2023

DRAWN BY: DDD CHECKED BY: DDD PROJECT NO. 3722 SHEET M-0.2

McVEIGH & MANGUM INC. 1025/2023 Other Doc. No. 600 AWC Project No. 1818

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NO.	DATE	NOTES

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26004114

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION

DATE: 26 JANUARY 2023

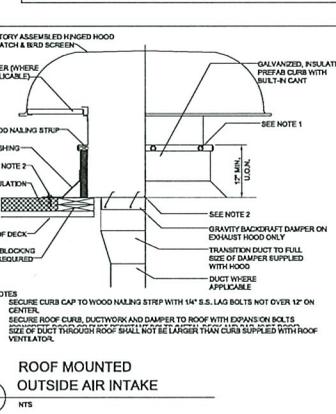
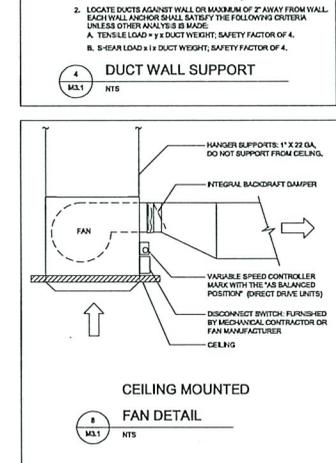
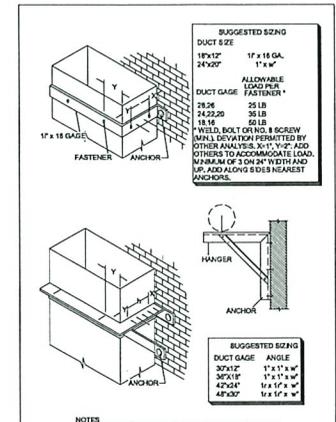
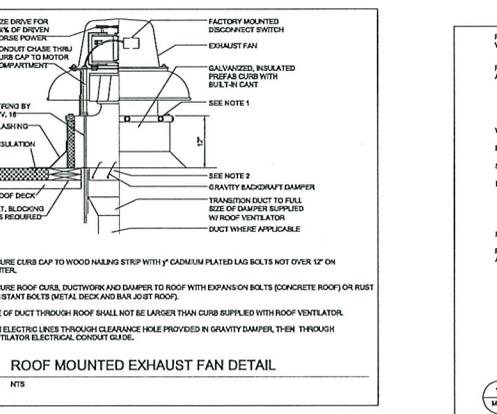
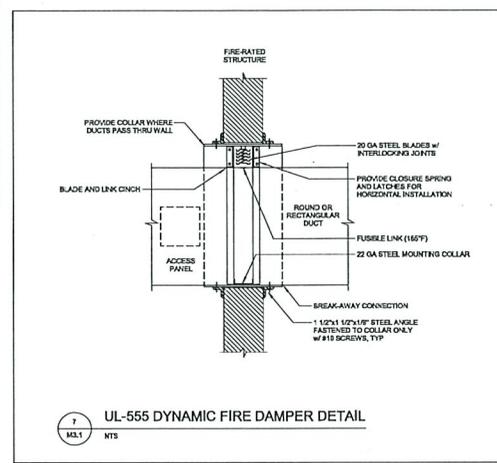
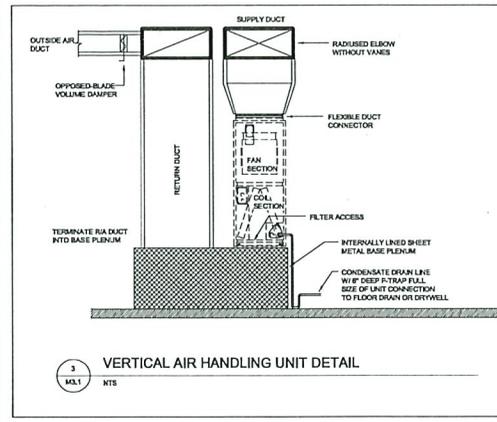
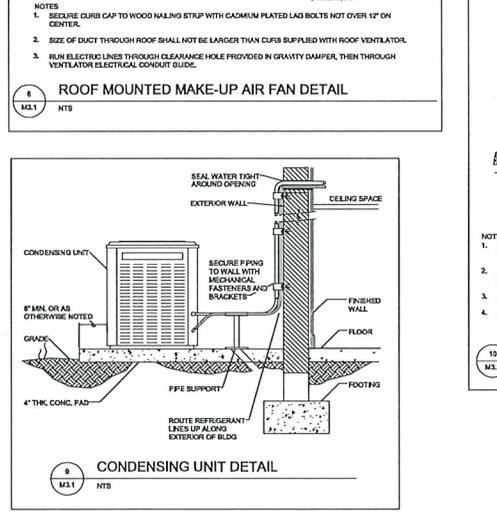
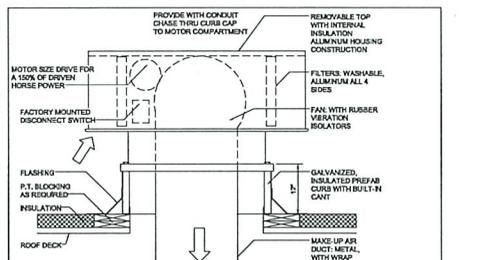
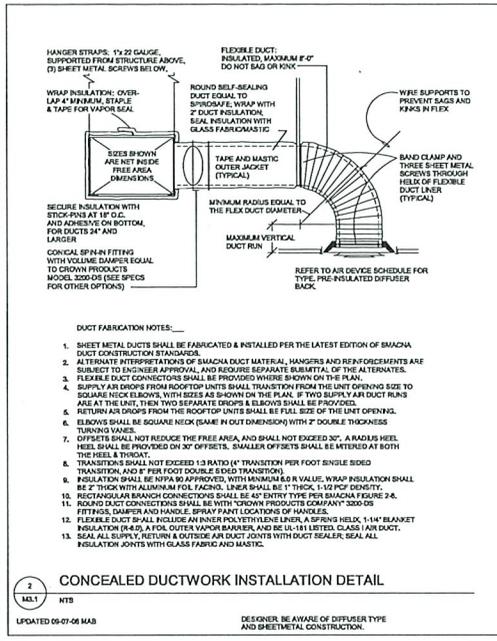
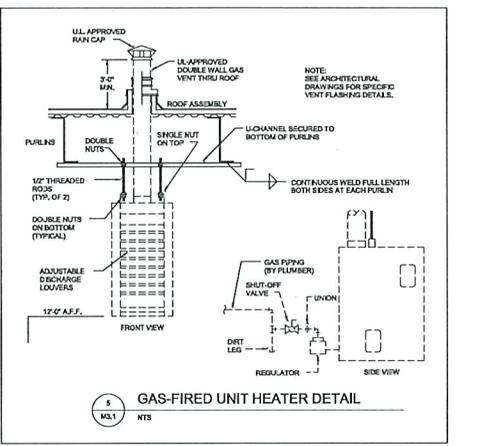
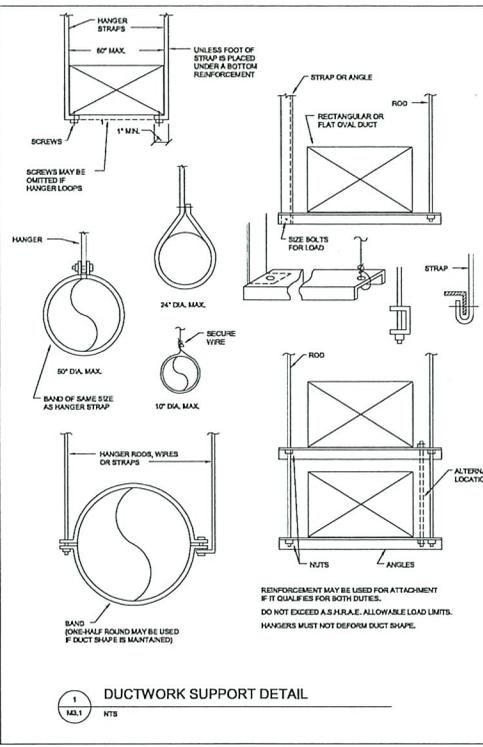


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AVOC Project No. 1818



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GARY RODGERS PLUMBING COMPANY, INC.

6915 BUSINESS PARK BOULEVARD, NORTH - JACKSONVILLE, FLORIDA - Ph. (904) 765-7964 - Fax (904) 765-9805

December 11, 2024

Project Name: Tributary Fire Station 51
Project Address: 75822 Edwards Road
Yulee, Florida 32097

Re: As Built Letter

To Whom It May Concern:

This letter is to certify that the plumbing for the above referenced project was installed according to the plans and specifications.

Please let us know if you have any questions or if we can assist you in any way. Thank you.

Kindest Regards,

Andrew J. Rodgers
President

COMMERCIAL PLUMBING CONTRACTOR SINCE 1979 IN
NORTHEAST FLORIDA AND SOUTHEAST GEORGIA

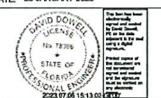
REVISIONS		
NO.	DATE	NOTES

THOMAS DUKE
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2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION

DATE: 28 JANUARY 2023

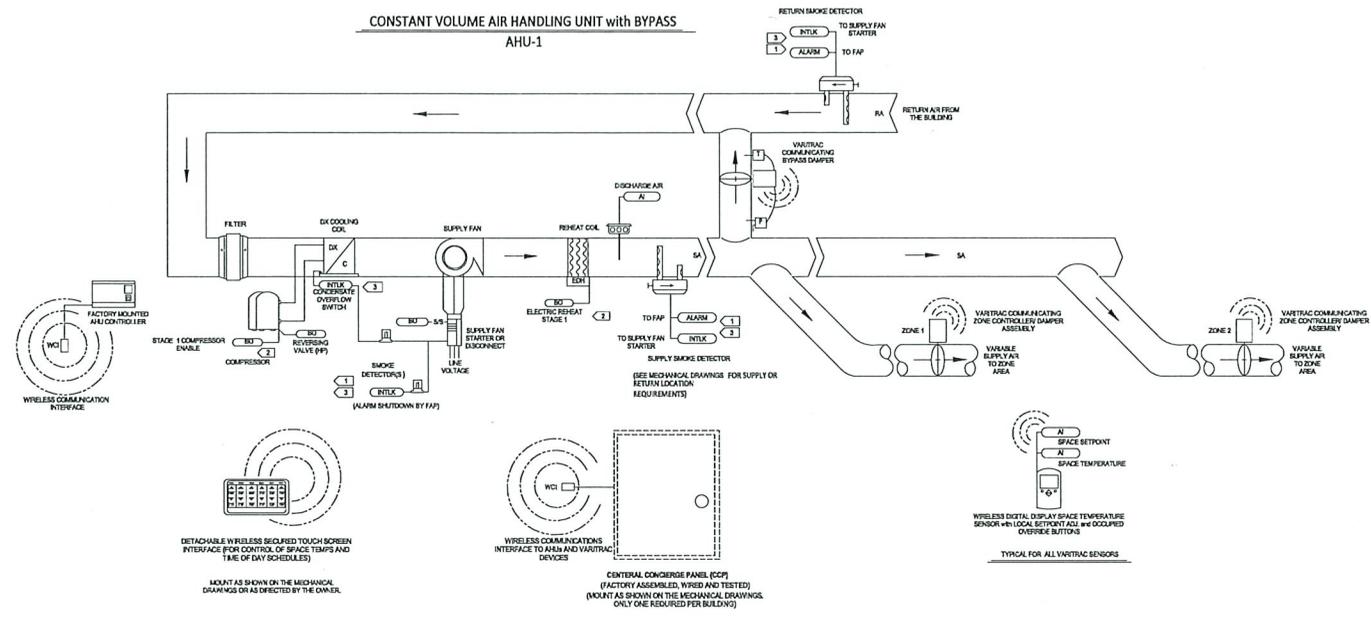


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10/25/2023
Open Doc. No. 500
AWC Project No. 1818

McVEIGH & MANGUM
MECHANICAL ENGINEERS
11118 D. Ridge Parkway
Jacksonville, Florida 32214
PH: (904) 459-0200
www.mcveighmangum.com



- 1 SMOKE DETECTORS ARE FURNISHED AND WIRED BY THE ELECTRICAL DIVISION TO INTERFACE WITH THE BUILDING FIRE ALARM PANEL (FAP). INTERLOCK FAN SHUTDOWN RELAY WITH THE SUPPLY FAN STARTER STOP THE FAN ON AN ALARM CONDITION. IF A BUILDING FIRE ALARM SYSTEM DOES NOT EXIST, INTERLOCK THE FAN STARTER WITH THE DRY SET OF CONTACTS IN THE SMOKE DETECTOR TO SHUT DOWN THE FAN ON AN ALARM CONDITION. SMOKE DETECTORS ARE TO BE INSTALLED IN THE ELECTRICAL DIVISION.
- 2 SEE THE MECHANICAL DRAWINGS SCHEDULES FOR THE NUMBER OF HEATING AND COOLING STAGES REQUIRED.
- 3 WIRE SAFETY DEVICES IN SERIES WITH SUPPLY FAN VFD'S INTERLOCK CIRCUIT TO STOP THE FAN IN AN ALARM CONDITION.
- 4 SCHEMATIC CONTROL FLOW DIAGRAM ONLY. SEE MECHANICAL DRAWINGS FOR ELECTRICAL DETAILS.
- 5 POINTS CONTROLLED AND MONITORED WIRED BACK TO THE FACTORY MOUNTED CONTROLLER.

MODES OF OPERATION:
CONSTANT VOLUME AIR WITH ZONE DAMPERS

EQUIPMENT INTERFACE:
THE TRANE CENTRAL CONCERGE PANEL (CCP) WILL SEND THE AHU AND ZONE CONTROLLERS AN OCCUPIED / UNOCCUPIED AND HEAT / COOL MODES. IF A CCP IS NOT PRESENT, OR COMMUNICATION IS LOST WITH THE CCP, THE CONTROLLERS WILL OPERATE USING DEFAULT MODES AND SETPOINTS.

OCCUPIED MODE:
DURING OCCUPIED PERIODS, THE SUPPLY FAN WILL RUN CONTINUOUSLY AND THE OUTSIDE AIR DAMPER WILL OPEN TO MAINTAIN THE MINIMUM VENTILATION REQUIREMENTS AS SET BY TEST AND BALANCE DURING COMMISSIONING. THE AHU'S DX COOLING OR ELECTRIC DUCT HEATING WILL STAGE TO MAINTAIN THE DISCHARGE AIR TEMPERATURE SETPOINT DEPENDING ON WHETHER IT IS HEATING OR COOLING MODE.

COOLING MODE:
THE CENTRAL CONCERGE PANEL (CCP) CONTROLLER WILL MONITOR THE ZONE SPACE TEMPERATURE AND COMMUNICATE WITH THE VAVRAC ZONE CONTROLLER TO DETERMINE WHETHER THE AHU SHOULD BE IN THE HEATING OR COOLING MODE. IF THE MAJORITY OF THE ZONES NEED COOLING, THE AHU WILL BE COMMANDED INTO THE "COOLING MODE" AND THE AHU'S DX STAGES WILL CYCLE TO MAINTAIN THE DISCHARGE COOLING AIR TEMPERATURE SETPOINT.

SPACE TEMPERATURE COOLING MODE:
WITH THE AHU IN THE COOLING MODE, AS COMMANDED BY THE CCP, THE AHU'S DISCHARGE AIR TEMPERATURE WILL BE MAINTAINED AT COOLING SETPOINT (AOL) WHEN THE SPACE TEMPERATURE RISES ABOVE THE SPACE SENSORS SETPOINT, THE ZONE CONTROLLER WILL MODULATE THE ZONE DAMPER TOWARD THE OPEN POSITION. WHEN THE SPACE TEMPERATURE FALLS TOWARD THE SPACE SENSORS SETPOINT, THE VAVRAC ZONE CONTROLLER WILL MODULATE ITS ZONE DAMPER TOWARD ITS MINIMUM POSITION.

HEATING MODE:
THE CENTRAL CONCERGE PANEL (CCP) CONTROLLER WILL MONITOR THE ZONE SPACE TEMPERATURE AND COMMUNICATE WITH THE VAVRAC ZONE CONTROLLER TO DETERMINE WHETHER THE AHU SHOULD BE IN THE HEATING OR COOLING MODE. IF THE MAJORITY OF THE ZONES NEED HEAT, THE AHU WILL BE COMMANDED INTO THE "HEATING MODE" AND THE AHU'S DX STAGES WILL BE ISOLATED AND THE ELECTRIC DUCT HEAT STAGES TO MAINTAIN THE DISCHARGE HEATING AIR TEMPERATURE SETPOINT.

SPACE TEMPERATURE HEATING MODE:
WITH THE AHU IN THE HEATING MODE, AS COMMANDED BY THE CCP, THE AHU'S DISCHARGE AIR TEMPERATURE WILL BE MAINTAINED AT HEATING SETPOINT. WHEN THE SPACE TEMPERATURE FALLS BELOW THE SPACE SENSORS SETPOINT, THE VAVRAC ZONE CONTROLLER WILL MODULATE ITS ZONE DAMPER TOWARD THE OPEN POSITION. WHEN THE SPACE TEMPERATURE RISES TOWARD THE SPACE SENSORS SETPOINT, THE VAVRAC ZONE CONTROLLER WILL MODULATE ITS ZONE DAMPER TOWARD ITS MINIMUM POSITION.

TOUCHSCREEN DISPLAY:
THE ZONE TEMPERATURES CAN BE PROGRAMMED TO BE CONTROLLED FROM THE LOCAL SPACE ZONE DIGITAL SENSORS OR BY THE REMOTE TOUCHSCREEN DISPLAY, OR ANY COMBINATION AS DIRECTED BY THE BUILDING MANAGER. THE DISPLAY CAN BE MOUNTED ANYWHERE INCLUDING THE MANAGER'S OFFICE. IF MOUNTED IN A COMMON AREA (IE, HALLWAY), THE REMOTE TOUCHSCREEN DISPLAY WILL BE PROVIDED PROTECTION VIA PIN NUMBERS FOR ONLY AUTHORIZED PERSONNEL TO USE.

LOCAL TEMPERATURE SETPOINT LIMITS:
LOCAL TEMPERATURE SETPOINT LIMITS CAN ALSO BE SET BY THE MANAGER THROUGH THE DISPLAY AS WELL AS TIME OF DAY SCHEDULES FOR INDIVIDUAL AREAS OR ENTIRE FLOORS OR BUILDING.

SUPPLY FAN:
THE SUPPLY FAN WILL BE ENABLED WHILE IN THE OCCUPIED MODE AND STOP WHILE IN DURING THE UNOCCUPIED MODE.

STATIC PRESSURE CONTROL:
WHEN THE SYSTEM IS COMMANDED TO THE "OCCUPIED MODE" OF OPERATION, THE BYPASS DAMPER SHALL BE AT ITS 50% OPEN POSITION. A VAVRAC COINTEGRATING BYPASS CONTROLLER SHALL MONITOR THE STATIC PRESSURE IN THE SUPPLY DUCT TO THE BYPASS DAMPER. AS THE ZONE TEMPERATURES APPROACH THEIR SETPOINTS, THE ZONE DAMPERS WILL START TO MODULATE TOWARD THEIR MINIMUM CLOSED POSITION, THIS CAUSES THE STATIC PRESSURE IN THE SUPPLY DUCT TO INCREASE. THE BYPASS DAMPER CONTROLLER SHALL MODULATE THE BYPASS DAMPER TOWARD ITS OPEN POSITION TO MAINTAIN THE SUPPLY DUCT STATIC PRESSURE SETPOINT. WHEN THE ZONE SENSORS START CALLING FOR MORE HEATING OR COOLING, THE ZONE DAMPERS WILL BEGIN TO MODULATE TOWARD THEIR OPEN POSITION. THIS ACTION CAUSES THE STATIC PRESSURE IN THE SUPPLY DUCT TO DECREASE. THE BYPASS DAMPER CONTROLLER WILL MODULATE THE BYPASS DAMPER TOWARD ITS CLOSED MINIMUM POSITION TO MAINTAIN THE SUPPLY DUCT STATIC PRESSURE SETPOINT.

THE COINTEGRATING BYPASS DAMPER CONTROLLER SHALL ALSO MONITOR THE TEMPERATURE OF THE BYPASS AIR TO MAKE SURE THE AHU IS NOT OVER-COOLING OR OVER-HEATING THE ZONES. WHEN THE SYSTEM IS COMMANDED TO THE "UNOCCUPIED MODE" THE BYPASS DAMPER WILL MODULATE TO THE 50% OPEN POSITION.

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PLUMBING FIXTURE DEMAND TABULATION

FIXTURE	DESCRIPTION	OCCUPANCY	QTY.	DRAINAGE FIXTURE UNITS	SUB-TOTAL	LOAD VALUES IN WATER (EACH SUPPLY FIXTURE UNITS (WSFU))			LOAD VALUES IN WATER (TOTAL SUPPLY FIXTURE UNITS (WSFU))			Remarks
						COLD	HOT	TOTAL	COLD	HOT	TOTAL	
WC	Water Closet, Flush Valve, 1.6 GPF	Private	4	5	20	8.0	3.0	8.0	24	12	32	
WC	Water Closet, Flush Valve, 1.6 GPF	Public	1	4	4	10.0	-	10.0	10	0	10	
LAV	Lavatory	Public	1	1	1	1.5	1.5	2.0	1.5	1.5	2	
S	Sink, Single Compartment	Private	1	2	2	1.0	1.0	1.4	1	1	1.4	
MS	Mop (Service) Sink	Offices, etc.	1	2	2	2.3	2.3	3.0	2.25	2.25	3	
FW	Fire Water Valve Box - (Refrigerator / Ice Maker)	Public or Private	1	0	0	0.3	-	0.3	0.25	0	0.25	
WMB	Washing Machine Box (S)	Public	3	3	2.25	2.25	3.0	2.25	2.25	3		
FD	Floor Drain - General / Restroom	Public	14	2	28	0.0	0.0	0.0	0	0	0	
HD	Hub Drain - General	Public	1	2	2	0.0	0.0	0.0	0	0	0	
EW-C	Electric Water Cooler	Public	1	1	0.3	0.3	0.3	0.25	0	0.25		
WH	Wall Hydrant	Public or Private	6	0	0	2.0	-	2.0	10	0	10	
LS	Laundry Sink	Public	1	2	2	1.0	1.0	1.4	1	1	1.4	
CS	Kitchen Sink	Public	1	2	2	1.0	1.0	1.4	1	1	1.4	
TOTALS						86.3	WSFU		53.5	21	62.7	WSFU
						4	INCH SLOPE PER FOOT		51.4	30.8	53.9	GPM
						4	DIAMETER OF PIPE (INCHES)		2	1-1/2	2	INCHES REQ'D.

WSFU = WATER SUPPLY FIXTURE UNITS
GPM = GALLONS PER MINUTE

GREASE INTERCEPTOR CALCULATION

Project: Fire Station 51
Job No.: 22142

KITCHEN SINK - 3 COMPARTMENT	Length	Width	Depth	Volume
				(cu ft)
Dimensions of each compartment (inches)	14.00	14.00	8.00	1592.00
Number of compartments				3
Total Volume in Cubic Feet (Each Compartment Volume x No. of Compartments)				3584
Capacity in Gallons (1 Gallon = 2.31 Cubic Feet)				1552
Actual Drainage Load in Gallons (70% of fixture capacity)				1186
Flow Rate GPM (at an acceptable drainage period = 2 minutes)				5.93
Selected Interceptor at rated capacity of not less than 40% of the fixture capacity in gallons				6.21
Provide a Single Fixture Grease Interceptor Sized with a Minimum GPM Flow Rate of				7

REVISIONS

NO.	DATE	NOTES
1	12/15/2023	REVISION 4

THOMAS DUKE ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. P.A.A. 26001414

PLUMBING FIXTURE SCHEDULE

DESIGNATION	MANUFACTURER	MODEL #	FIXTURE DESCRIPTION	MIN. CONNECTION SCHEDULE (RINO)			
				WASTE	VENT	OV	HW
WC-1 (ADA)	KOHLER	K-4368	FLOOR MOUNTED VITREOUS CHINA WATER CLOSET W/ ELONGATED BOWL (ADA) MOUNT TOP OF BOWL AT 17" A.F. TO MEET ADA. FLUSH VALVE, SLOAN 111 (1.6 GPF) SEAT (NO LED) KOHLER LUSTER K-4870-C OPEN FRONT	3"	2"	1"	-
L-1 (ADA)	AMERICAN STANDARD	"LUCERNE" 0363.012	VITREOUS CHINA WALL-HUNG LAVATORY (HANDICAP) TRAP - 1" HOSE NO. 815 3/4" INCH ADA FAUCET - 1" 1/2" CAST BRASS WITH C.O. PLUG SUPPLY - 3/8" ANGLE-TYPE WITH STOPS PROVIDE OFFSET TAILPIECE INSULATE TRAP OUTLET & HW SUPPLY TO MEET ADA.	1 1/2"	1 1/2"	1 1/2"	1 1/2"
SH-1 (ADA)	SEE ARCH DWGS	SEE ARCH DWGS	LUXE LINEAR DRAIN 36" WIDE W/ SQUARE PATTERN GRATE SHOWER FLOOR TO SLOPE TOWARD DRAIN VALVE HEAD: EVANSONS THERMOLOC C-86-300-B30-V-X BALANCED PRESSURE SHOWER MAX FLOW 2.0 GPM	2"	2"	1 1/2"	1 1/2"
S-1	JUST	A-544-912	SINGLE-COMPARTMENT, STAINLESS STEEL SINK, 8" DEEP FAUCET - SPEARMAN NO. SC-524 CUP STRAINER - JUST MODEL, 3/8" SUPPLY - 3/8" ANGLE-TYPE WITH STOPS TRAP - 1 1/2" CAST BRASS WITH C.O. PLUG	1 1/2"	1 1/2"	1 1/2"	1 1/2"
S-2	KOHLER	K-31455-1	DOUBLE-COMPARTMENT, UNDERMOUNT STAINLESS STEEL SINK FAUCET - KOHLER K-586-VS EMPULSE PULL-DOWN KITCHEN FAUCET CUP STRAINER - KOHLER K-587 SUPPLY - 3/8" ANGLE-TYPE WITH STOPS TRAP - 1 1/2" CAST BRASS WITH C.O. PLUG	1 1/2"	1 1/2"	1 1/2"	1 1/2"
EW-C-1	ELKAY	EZSTLGA	RE-LEVEL WALL MOUNTED SURFACE MOUNTED ELECTRIC WATER COOLERS 8.0 GPM CAPACITY, 4.0 F.L.A., 120-140. SEE DRAWING FOR INLINE WATER FILTER TO COOLERS.	2"	1 1/2"	1 1/2"	-
WH-1	EEMAX	MT004122T	ELECTRIC INSTANTANEOUS WATER HEATER 2.5 KW, 120-145, 20 AMP, 48°F TRAP, 105°F @ 8.5 GPM SET WATER TEMP. CONTROL TO 105°F TO MEET ADA.	-	-	3/4"	3/4"
THW-1	FRNW	RL180E	TANKLESS PROPANE GAS WATER HEATER 18,000-BTU/D, 120-140, 10 AMP FUSE, 0.82 THERMAL EFFICIENCY, 7.5 GPM SUPPLY AT 71 DEG DELTA T SET WATER TEMP. CONTROL TO 105°F TO MEET ADA.	-	-	3/4"	3/4"
IMP-1	GATEY	3562	ICE MAKER BOX, PROVIDE FRIE-RATED MODEL IN FRIE RATED WALLS	-	-	1 1/2"	-
WMB-1	GATEY	35641	WASHING MACHINE BOX WITH WATER HAMMER ARRESTOR, PROVIDE FRIE-RATED MODEL IN FRIE RATED WALLS.	2"	2"	1 1/2"	1 1/2"
LT-1	ENVIRONMENTAL ENHANCEMENTS	LUV-R	LINT FILTER - FOR RESIDENTIAL WASHER	1"	-	-	-
FD-1	ZURN	Z-506	FLOOR DRAIN W/ 8" NICKALOY STRAINER TOP, ACID RESISTING EPOXY COATED CAST IRON PROVIDE AUXILIARY INLET FITTING FOR TRAP PRIMER CONNECTION.	4" (N.O.)	2"	-	-
FD-2	ZURN	Z-415 W/ TYPE "E" STRAINER	FLOOR DRAIN W/ 8" NICKALOY STRAINER TOP, PROVIDE AUXILIARY INLET FITTING FOR TRAP PRIMER CONNECTION.	3" (N.O.)	2"	-	-
HS-1	WOODFORD	MODEL-24	HOSE BIB (BRASS) - MANUFACTURED BY WOODFORD OR EQUAL, 3/4" I.P.S. INLET, 3/4" HOSE CONNECTION OUTLET NON-HEATED	-	-	3/4"	-
TP-1	PRECISION PLUMBING PRODUCTS	P1-500	AUTOMATIC TRAP PRIMER	-	-	1 1/2"	-
MV	WATTS	LFUSQ-B-50	THERMOSTATIC MOONG VALVE	-	-	-	-
RCP-1	TACO	MODEL 008	DOMESTIC WATER RECIRCULATION PUMP, 120V/160, 6.75 AMPS, 1/25 HP MAX FLOW: 14 GPM MAX HEAD: 15 FT.	-	-	-	3/4"
FCO	ZURN	Z-1430	FLOOR CLEAN-OUT - PROVIDE SCREW COVER MATCH SIZE OF PIPE.	-	-	-	-
SA	ZURN	Z-1700 SERIES	WATER HAMMER ARRESTOR, 6/32 PER P.D.I. WH-21 VERIFY THAT COMPONENT IS ACCESSIBLE.	-	-	-	-
HD-1	ZURN	Z-415 W/ TYPE "E" STRAINER	HUB DRAIN W/ 8" NICKALOY STRAINER TOP W/ FUNNEL PROVIDE 6" DEEP SEAL TRAP	3"	2"	-	-
MS-1	ZURN	Z1996-24	FLOOR MOUNTED MOLDED STONE MOP BASKET FAUCET - T&S MODEL 8065-BSTP. PROVIDE WITH WALL-MOUNTED MOP HANGER.	3"	2"	1 1/2"	1 1/2"
AV	STUDDT	M-8-VENT	AIR ADMITTANCE VALVE	1 1/2"	-	-	-

NEW BUILDING FOR
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EDWARDS ROAD
NASSAU COUNTY, FLORIDA

PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 28 JANUARY 2023

01/09/2024
Other Doc. No. 503
AWC Project No. 1818

McVEIGH & MANGUM ENGINEERING, INC.

www.McVighMangum.com
1111 K.O. McKee Parkway
Jacksonville, Florida 32216
PH: 904.333.2200
FAX: 904.333.2201
email: info@mcveighmangum.com
CA 0011
Reg. # 60001 David B. Dowd License No. 76704

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2	03/25/23	REVISION 2
3	03/25/23	REVISION 3
4	03/25/23	REVISION 4
5	03/25/23	REVISION 5
6	03/25/23	REVISION 6
7	03/25/23	REVISION 7

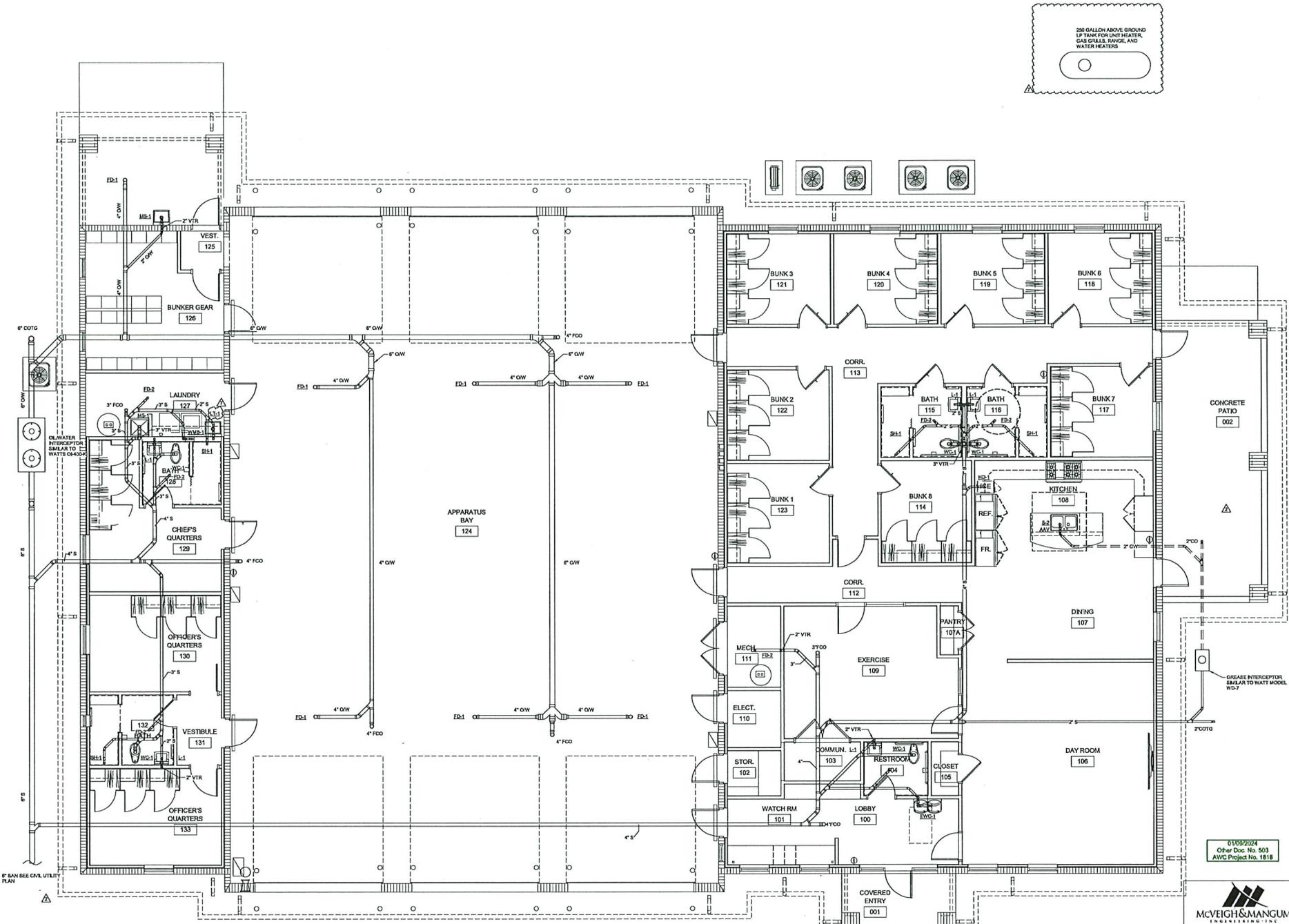
THOMAS DUKE
ARCHITECT, P.A.
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JACKSONVILLE, FLORIDA 32204
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DRAINAGE, WASTE AND VENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

01/05/2024
Other Docs: No. 503
AWC Project No. 1818

McVEIGH & MANGUM
ENGINEERING, INC.
ME
1111 S. Orange Blossom Trail
Orange, Florida 32714
Phone: (407) 881-1111
Fax: (407) 881-1112
www.mveng.com
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- KEY NOTES**
- 1 PROVIDE TP-2 FOR FLOOR DRAIN.
 - 2 UNDERGROUND CW LINE TO TRAP PRIMER CONNECTION ON FLOOR DRAIN.
 - 3 LP GAS LINE BELOW SLAB TO RANGE GAS CONNECTION. ENCASE UNDERGROUND GAS PIPING IN ASSALED SLEAVE VENTED TO THE OUTSIDE.
 - 4 PROVIDE TP-2 FOR HUB DRAIN FROM ICE MAKER.

REVISIONS

NO.	DATE	NOTES
1	01/09/2024	REVISION 1
2	01/09/2024	REVISION 2
3	01/09/2024	REVISION 3
4	01/09/2024	REVISION 4

THOMAS DUKE ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
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NEW BUILDING FOR
TRIBUTARY FIRE STATION
 EDWARDS ROAD
 NASSAU COUNTY, FLORIDA

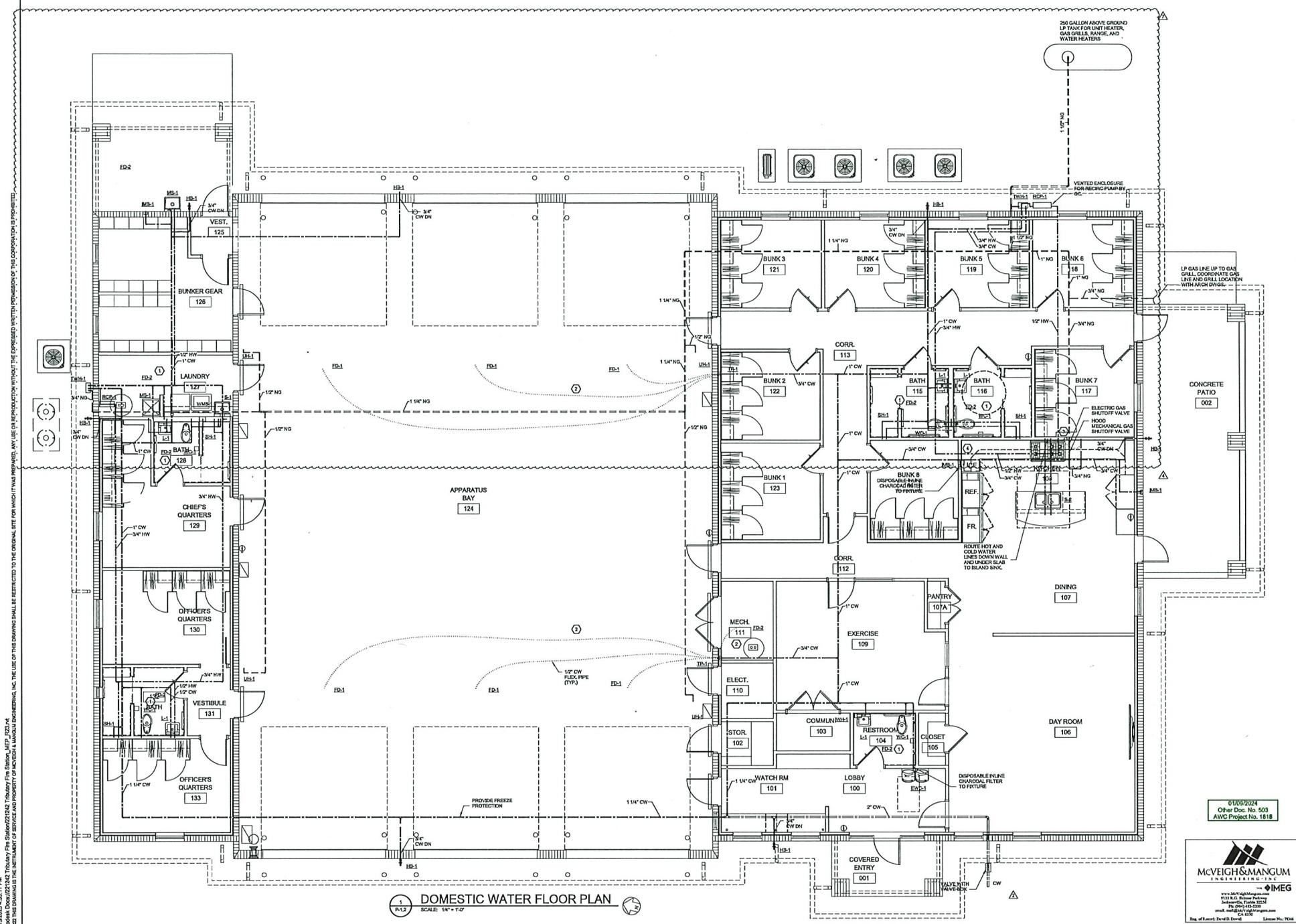
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 DATE: 28 JANUARY 2023

01/09/2024
 Other Doc. No. 503
 AWWG Project No. 1818



DRAWN BY: DDD CHECKED BY: DDD
 PROJECT NO. 3722

SHEET
P-1.2



DOMESTIC WATER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

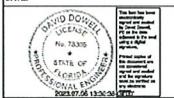
3/15/2023 4:32:11 PM
 User: ddd\221242 Tributary Fire Station MEP_3221.MXD
 Size: 1141 KB
 The use of this drawing is restricted to the original use for which it was prepared. Any use of this drawing without the expressed written permission of the corporation is prohibited.

REVISIONS		
NO.	DATE	NOTES

THOMAS DUKE
ARCHITECT, P.A.
2345 HARPER STREET
JACKSONVILLE, FLORIDA 32204
(904) 356-3335
LIC. #AA 26001414

NEW BUILDING FOR
TRIBUTARY FIRE STATION
EDWARDS ROAD
NASSAU COUNTY, FLORIDA

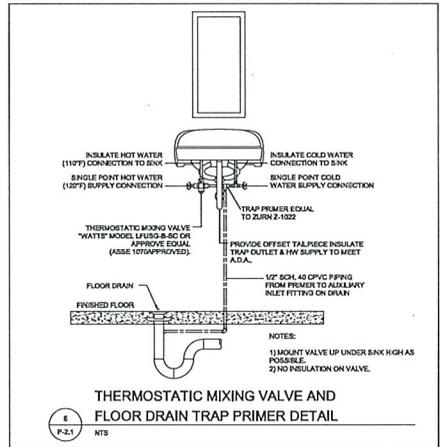
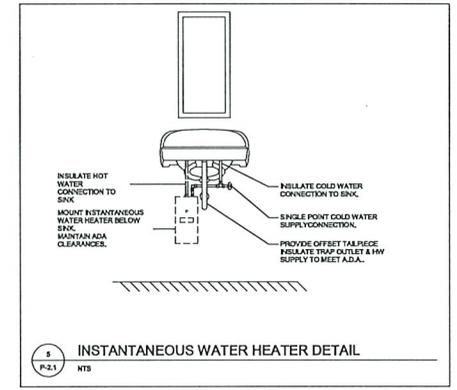
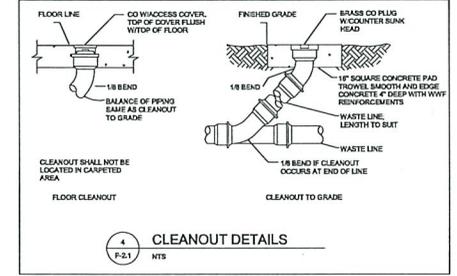
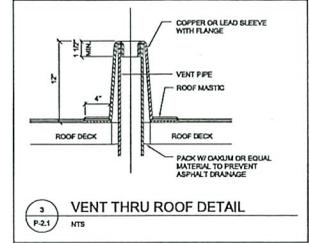
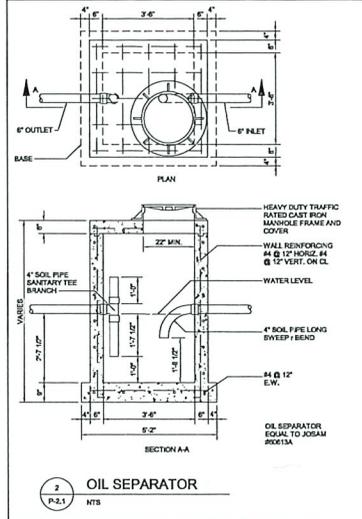
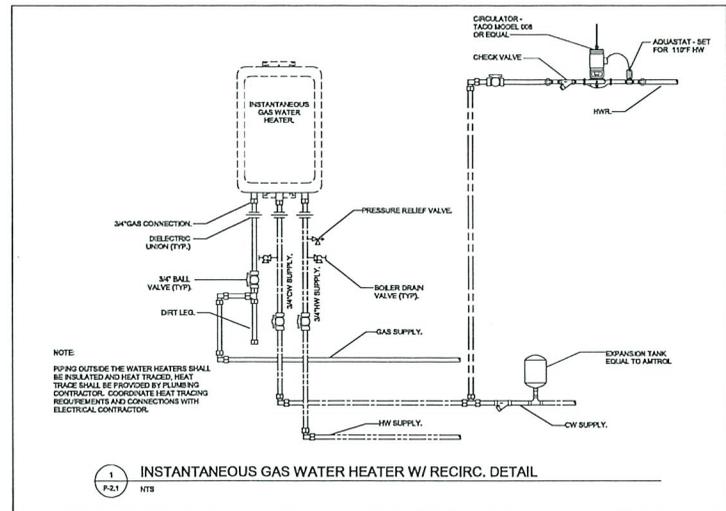
PERMIT SET
RELEASED FOR CONSTRUCTION
DATE: 26 JANUARY 2023



DRAWN BY: DDD CHECKED BY: DDD
PROJECT NO. 3722

SHEET
P-2.1

10/25/2023
Other Dec. No. 500
AWC Project No. 1818



5/20/23 5:28:21 PM
 \\s01a01\cadd\221242 Tributary Fire Station_MEP_2023.rvt
 221242.rvt
 THE INSTRUMENT OF SERVICE AND PERMISSION OF ARCHITECT & MECHANICAL ENGINEERS, INC. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SET FOR WHICH IT WAS PREPARED. ANY USE OR REPRODUCTION WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THIS CORPORATION IS PROHIBITED.

REVISIONS		
NO.	DATE	NOTES
2	10/25/2023	REVISION 2

THOMAS DUKE
 ARCHITECT, P.A.
 2345 HARPER STREET
 JACKSONVILLE, FLORIDA 32204
 (904) 356-3335
 LIC. #AA 26001414

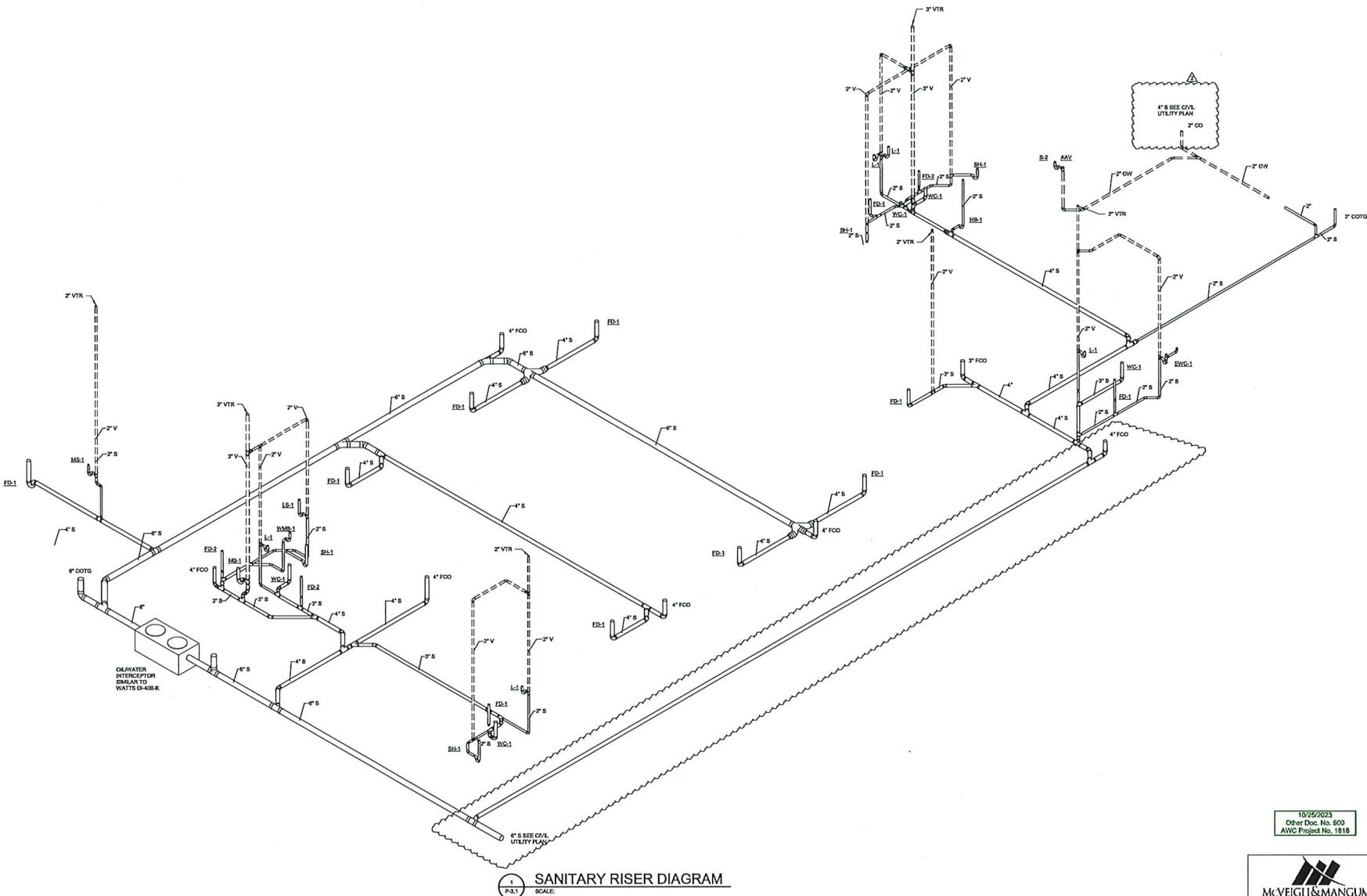
NEW BUILDING FOR
TRIBUTARY FIRE STATION
 EDWARDS ROAD
 NASSAU COUNTY, FLORIDA

PERMIT SET
 RELEASED FOR CONSTRUCTION
 DATE: 26 JANUARY 2023

10/25/2023
 Other Doc. No. 500
 AWC Project No. 1818

DRAWN BY: DDD CHECKED BY: DDD
 PROJECT NO. 3722

SHEET
P-3.1



1
 P-3.1
 SCALE
SANITARY RISER DIAGRAM

McVEIGH & MANGUM
 INCORPORATED
 www.McVME.com
 111 S.W. Nelson Parkway
 Jacksonville, Florida 32214
 Tel: (904) 443-5700
 email: info@McVME.com
 Lic. No. 1236-1236
 Reg. of Exors, David D. Dornell License No. 76364

5/2023 3:28:22 PM
 User: ddd\2212142 Tributary Fire Station_MEP_2023.rvt
 Size: 10240000
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Brittney Bushey

From: Adam Knight <AKnight@imcfireprotection.com>
Sent: Wednesday, October 30, 2024 8:59 AM
To: Brittney Bushey
Subject: RE: 1818 - Tributary Fire Station - Closeout Documents Request| VP: MNQBUI0VWV
Attachments: FS 51 Above Ground Test Paper.pdf; Warranty Letter Template Signed.pdf; fire-sprinkler-maintenance.pdf

EXTERNAL EMAIL - EXERCISE CAUTION OPENING LINKS OR ATTACHMENTS

Please see attached all close-out docs. There are no as-builds for this being nothing changed on our end.

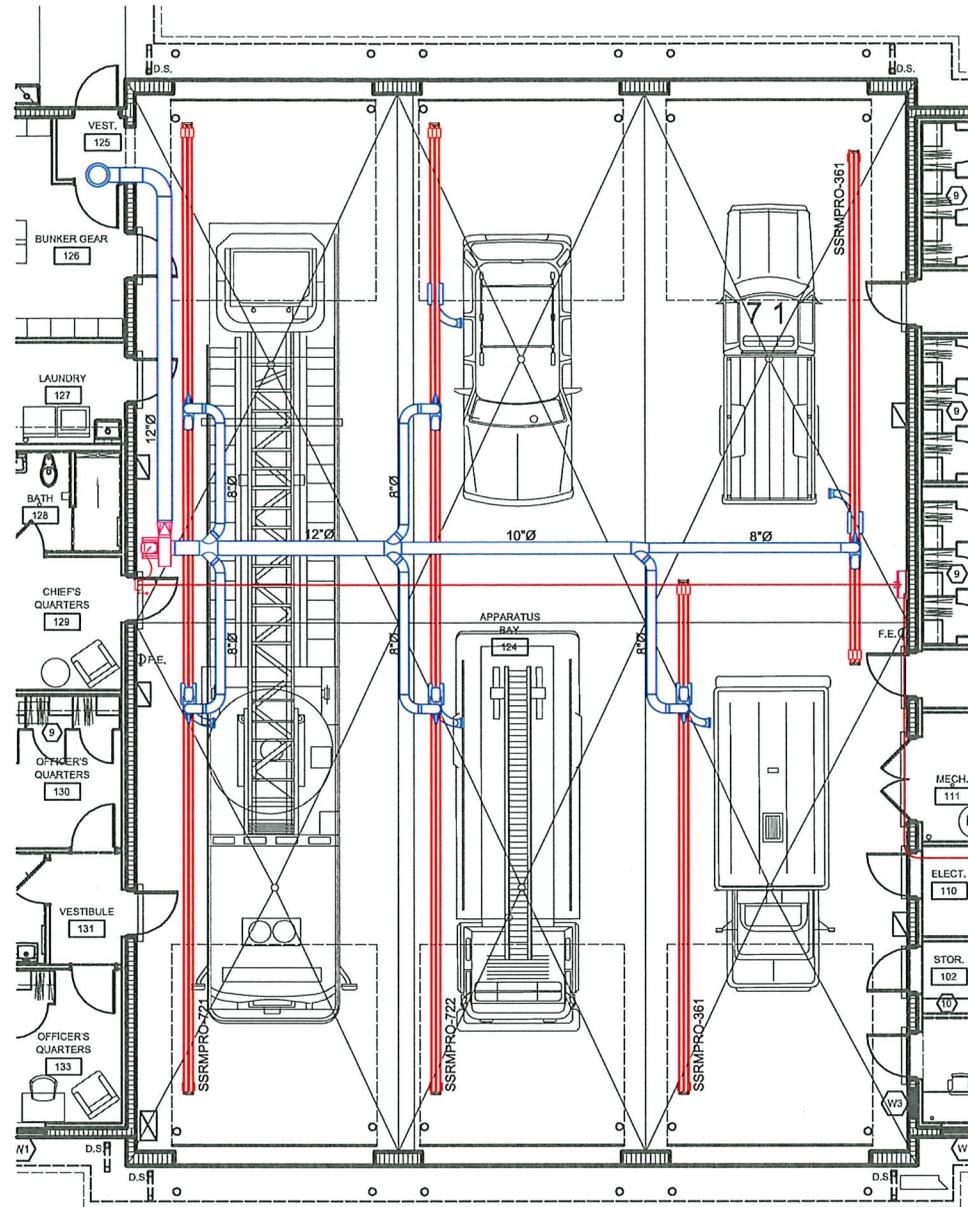
Thank you,



We've moved! Our new address is below.

IMC Fire Protection
34 N Industrial Loop, Suite 204, Orange Park, FL 32073-6203
<http://imcfireprotection.com>
Office: (904)406-6039
Cell: (904)872-9530

SYSTEMS: STRAIGHT SUCTION RAIL
 ISO 9001:2015 CERTIFIED
 UNITS: INCHES



GENERAL CONSTRUCTION NOTES:

- FOR THE PURPOSE OF CLEARNESS AND LEGIBILITY DRAWINGS ARE DIAGRAMMATIC AND DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY FIELD MEASUREMENT BEFORE BEGINNING ANY FABRICATION OR CONSTRUCTION.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES IN ACCORDANCE WITH 2017 ICC (IBC, IMC).
- ALL NEW MATERIAL METHODS, AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE BUILDING STANDARDS AS APPROVED.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION OF EXHAUST FANS, DUCTWORK, AND EXHAUST DROPS WITH EXISTING IN-PLACE CITY FIRE DEPARTMENTS EQUIPMENT, LIGHTING, AND ALL EXISTING CONDITIONS.
- ALL EXHAUST DUCTWORK SHALL BE SPIRAL SEAM GALVANIZED STEEL FABRICATED AND INSTALLED IN ACCORDANCE WITH CHAPTER 6 OBBC MC AND SMACNA STANDARD MANUAL.
- SHEETMETAL DUCT DIMENSIONS SHOWN ARE AIRWAY DIMENSIONS.
- BALANCE EXHAUST SYSTEM AND EACH EXHAUST DROP MEET AIR QUANTITIES AS REQUIRED.
- CONTRACTOR SHALL COORDINATE WITH CITY FIRE DEPARTMENT PRIOR TO ANY PENETRATION OR ROOF CUTTING.

FAN SCHEDULE

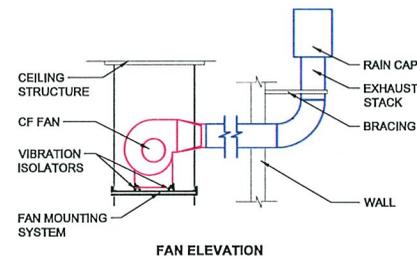
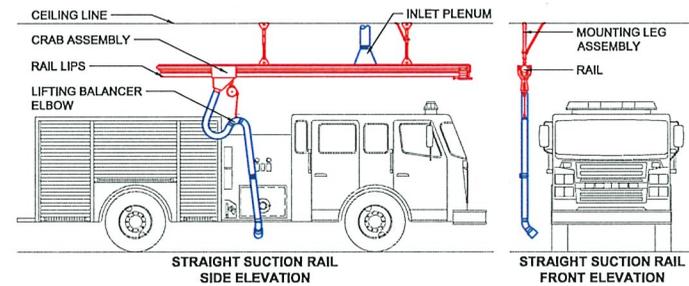
FAN TYPE	ID#	AIRFLOW (CFM)	RPM	STATIC PRESSURE (IN-WC)	VOLTS / PHASE	HP	BREAKER	WIRE
MAGNEGRIP	CF363-5	3300	3450	6 SP	208-240v 3ph/4w	5	30 AMP	#8THHN

VEHICLE EXHAUST SYSTEM

DESCRIPTION	PART #	QTY	REMARKS
CONTROL PANEL	500179-08	1	
RAIN CAP	500157-12	1	
SUCTION RAIL	SSRMPRO-721	2	1 HOSE DROP EACH
SUCTION RAIL	SSRMPRO-722	1	2 HOSE DROPS EACH
SUCTION RAIL	SSRMPRO-361	2	1 HOSE DROP EACH
TOTAL # OF HOSE DROPS:		5	CFM PER HOSE DROP: 600 CFM

REMARKS:

- ITEM HAS BEEN SPECIFIED FOR QUALITY AND PERFORMANCE ANY APPROVED SUBSTITUTION IS AT THE RISK OF THE OWNER.
- PROVIDE TRACK OR RAIL SYSTEM, TRANSITION ELBOW, HIGH TEMPERATURE HOSE, HOSE CLAMPS, NOZZLES, TAILPIPE CONNECTORS, FRESH AIR INTAKE, AND OTHER ITEMS REQUIRED FOR A COMPLETE INSTALLATION.
- PROVIDE WIRELESS CONTROL PANEL ACTIVATION, PRESSURE SENSORS, WIRELESS TRANSMITTERS, AND ADDITIONAL COMPONENTS IF REQUIRED FOR AUTOMATIC FAN CONTROL.
- VEHICLE EXHAUST SYSTEM DESIGN AND DRAWING IS THE SOLE PROPERTY OF THE DESIGNERS, MAGNEGRIP.
- DETAILS MAY NOT REPRESENT THE SAME KIND OF VEHICLE IN PLAN VIEW.
- DETAILS ARE MEANT TO ILLUSTRATE "TYPICAL" ELEVATION VIEWS.



THIS DRAWING (VEHICLE EXHAUST SYSTEM) DESIGN IS THE SOLE PROPERTY OF MAGNEGRIP. IT IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE PERMISSION OF THE DESIGNERS.
 11445 Deerfield Road
 Columbus, GA 31904
 706.324.6542
 www.MagneGrip.com

MAGNEGRIP
 Vehicle Exhaust Venting Systems
 11445 Deerfield Road
 Columbus, GA 31904
 706.324.6542
 www.MagneGrip.com

REVISIONS:
 AS-BUILT DWG 11/06/24
 PROJECT: Nassau County Fire - Edwards Road Station #51
 Edwards Road
 Yulee, FL
 DIESEL EXHAUST SYSTEM
 DIESEL EXHAUST SYSTEM - FLOOR PLAN
 SHEET TITLE:
 DRN: CHK: CADD:
 EDR: X
 DATE: 11/06/24
 SHEET No.:



Certificate of Occupancy

Nassau County Building Department

96161 Nassau Place, Yulee, FL 32097

www.nassaucountyfl.com

Phone: (904) 530-6250 Fax: (904) 321-5763 Toll Free: 1-800-948-3364

This certificate issued pursuant to the requirements of the 7th Edition Florida Building Code (2020) certifying that at the time of issuance, to the best of our knowledge and belief, this structure was in compliance with the various ordinances of the Jurisdiction regulating building construction or use.

For buildings and structures in flood hazard areas documentation of the as-built lowest floor elevation has been provided and is retained in the records of the Building Department.

Application: 230000804

CO Number: 250003357

Date Issued: 04/02/2025

Permit No: 230015651

Project: NEW CONSTRUCTION OF FIRESTATION #51 (T)8496 (H)3361 (G)5132

Use: PUBLIC BUILDING
Occupancy: R-1 AND S-1

Construction Type: IIIB

Design Occupant Load: 50

Fire Sprinkler System: Installed: YES
Required: YES

Parcel: 11-2N-26-0000-0001-0070

Address: 75822 EDWARDS ROAD
YULEE, FL 32097

Lot Number:

Owner: BOARD OF COUNTY COMMISSIONERS OF
NASSAU
96135 NASSAU PL
STE 1
YULEE, FL 32097

Charles F. Barr

Deputy Building Official

Certificate of Final Completion

PROJECT: *(name and address)*
Edwards Road Fire Station
75822 Edwards Road
Yulee, Florida 32091

CONTRACT INFORMATION:
Contract For: Construction
Date: November 13, 2023

CERTIFICATE INFORMATION:
Certificate Number: 001
Date: March 28, 2025

OWNER: *(name and address)*
Three Rivers Developers, LLC
7087 Baymeadows Road East, Suite 205
Jacksonville, Florida 32256

ARCHITECT: *(name and address)*
Thomas Duke Architect
2345 Harper Street
Jacksonville, Florida 32204

CONTRACTOR: *(name and address)*
Auld & White Constructors, LLC
4168 Southpoint Parkway, Suite 101
Jacksonville, Florida 32216

The Work identified below has been reviewed and found, to the Architect's best knowledge, information, and belief, to be finished and complete. Final Completion is the stage in the progress of the Work when the Work or designated portion is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use. The date of Final Completion of the Project or portion designated below is the date established by this Certificate.

(Identify the Work, or portion thereof, that is substantially complete.)

Thomas Duke Architect		Thomas Duke, AIA	3.28.25
ARCHITECT <i>(Firm Name)</i>	SIGNATURE	PRINTED NAME AND TITLE	DATE OF FINAL COMPLETION

WARRANTIES

Any applicable warranties shall commence upon the receipt and acceptance of the bill of sale by the County. *(Identify warranties that do not commence on the date of Final Completion, if any, and indicate their date of commencement.)*

WORK TO BE COMPLETED OR CORRECTED

A list of items to be completed or corrected is attached hereto, or transmitted as agreed upon by the parties, and identified as follows: *(Identify the list of Work to be completed or corrected.)*

Minor Punchlist Items - ~~See Exhibit Attached~~ Complete 100% TBD
CV JAR MCT

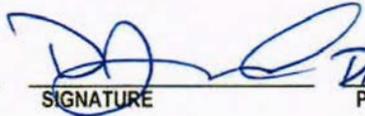
The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents. Unless otherwise agreed to in writing, the date of commencement of warranties for items on the attached list will be the date of acceptance of the bill of sale by the County.

Cost estimate of Work to be completed or corrected:

The responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work, insurance, and other items identified below shall be as follows: *(Note: Owner's and Contractor's legal and insurance counsel should review insurance requirements and coverage.)*

The County is responsible for all items upon execution.

The Owner and Contractor hereby accept the responsibilities assigned to them in this Certificate of Final Completion.

Auld & White Constructors, LLC CONTRACTOR (Firm Name)	 SIGNATURE	James Durkin PA PRINTED NAME AND TITLE	3/28/25 DATE
Three Rivers Developers, LLC OWNER (Firm Name)	 SIGNATURE	Michael Taylor Vice President PRINTED NAME AND TITLE	3.28.25 DATE
Dave Podav Nassau County, Florida COUNTY	 SIGNATURE	DR Public Works PRINTED NAME AND TITLE	3-28-25 DATE



AULD & WHITE
CONSTRUCTORS • LLC

WARRANTY

Warranty Start Date: February 14, 2025
Project Name: Tributary Fire Station
(Nassau County)
75822 Edward Road
Yulee, Florida 32097
AWC Project No.: 1818

From: DNS Contracting, LLC
1517 Faye Road
Jacksonville, Florida 32218

To: Three Rivers Developers, LLC
7807 Baymeadows Road East, Suite 205
Jacksonville, Florida 32256

Auld & White Constructors, LLC
4168 Southpoint Parkway, Suite 101
Jacksonville, Florida 32216

The undersigned warrants all its work performed in connection with the above referenced project to be in conformance with the Contract Documents and free from all defects in materials and workmanship for a period of one year(s) from the above Warranty Start Date. Should any defect develop during warranty period the undersigned agrees to diligently investigate and remedy said defect at its own expense including costs to replace, repair and otherwise make good (including any adjacent work displaced or destroyed) all at no expense to Contractor or Owner.

The term "defect" shall not be construed as damage arising from misuse, negligence, Acts of God, normal wear and tear or failure to follow maintenance or operating instructions.

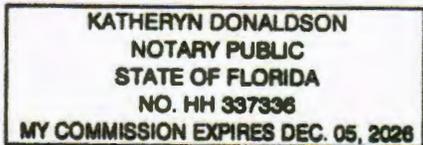
This warranty shall be in addition to other warranties and guarantees set forth in the Contract Documents and shall not constitute a waiver of any additional rights and remedies available.

DNS Contracting, LLC

State of FL
County of Duval

The foregoing instrument was acknowledged before me on this 4 day of APRIL, 2025, this record was signed before me by DAVID SUNDBSTROM

Katheryn Donaldson
Notary Public Signature



David Sundstrom
Representative Signature

David Sundstrom
Printed Name of Representative

President
Date of Signature

NOTARY SEAL]



AULD & WHITE
CONSTRUCTORS • LLC

EXTENDED ASPHALT WARRANTY

Warranty Start Date: March 31, 2025
Project Name: Tributary Fire Station
(Nassau County)
75822 Edward Road
Yulee, Florida 32097
AWC Project No.: 1818

To : Nassau County Development Services
96161 Nassau Place
Yulee, Florida 32097

Three Rivers Developers, LLC
7807 Baymeadows Road East, Suite 205
Jacksonville, Florida 32256

DNS Contracting, LLC hereby acknowledges the inspection conducted by Nassau County, per Ordinance 99-17 Roadway and Drainage Standards, and their findings, which consider the construction phase complete for the sitework executed under the direction of General Contractor, Auld & White Constructors, LLC.

This warranty letter serves as an acknowledgement and agreement to the Owner's requirement of an extended maintenance bond period of two (2) years for the asphalt work performed in the parking lot of the above-referenced project for the specific area outlined in the attached plan.

DNS Contracting, LLC warrants the asphalt and agrees to replace, without additional costs or charge to the Owner for either labor or materials, if the asphalt becomes defective or unserviceable within the agreed upon warranty period of two (2) years from March 31, 2025, which is the date of the formal letter received by Auld & White Constructors, LLC from Nassau County Development Services, requiring this extended warranty.

The term "defect" shall not be construed as damage arising from misuse, negligence, Acts of God, normal wear and tear or failure to follow maintenance or operating instructions.

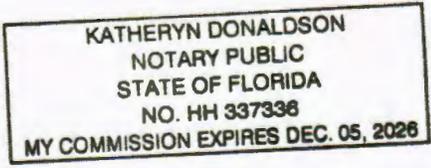
This warranty shall be in addition to other warranties and guarantees set forth in the Contract Documents and shall not constitute a waiver of any additional rights and remedies available.

State of FL
County of DUVAL

The foregoing instrument was acknowledged before me on this 4 day of APRIL, 2025, this record was signed before me by DAVID SUNDSTROM.

Kathryn Donaldson
Notary Public Signature

[Signature]
DNS Contracting, LLC - Representative Signature
David Sundstrom
Printed Name of Representative
President
Title of Representative



NOTARY SEAL]

